



LOT 3 A

VARIANCE AMENDMENT APPLICATION

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

RECEIVED
 WORCESTER CITY CLERK
 2024 JUL 17 PM 3:25

List information for the original Variances (s) and what the amendment to the Variance (s) includes. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:		Setback required:		Setback required:	
Square footage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	15'
Frontage provided:		Setback provided:		Setback provided:	14.07'
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:	35'	Type of structure:	
Parking provided:		Height provided:	42' 2"	Square footage of structure:	
Relief requested:		Relief requested:	7'2"	Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
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Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



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1. Assessor's **ADDRESS OF SUBJECT PROPERTY:** 70 & 74 Valmor St.; 21 & 25 Maranda St.
(List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).
2. Is this property known by any other address: 70,72,74 & 76 Valmor St. &21,23,25 &27 Maranda St.
3. **OWNER OF RECORD:** JAE Wor LLC
(The owner of record is the person or entity who owns title to the property as of today's date)
4. Address (es) of owner of record is /are 90 Madison St., Suite 610, Worcester, MA 01608
5. Worcester District Registry of Deeds (WDRD) Book(s) 67595, Page(s) 247
(List Book and Page number of deed filed for the subject property as recorded at the WDRD)
6. City of Worcester Assessor's Office Map 34 Block 010 Lot 00004;0004A; &
(List MBL number for the subject property as listed at Assessor's Office)
7. **NAME OF APPLICANT(S):** JAE Wor LLC 0004B & 0004C
8. Address of Applicant: 90 Madison St. Suite 610, Worcester, MA 01608
9. Telephone: (774) 696-3814
10. Email: annaszeto.fm@gmail.com
11. Check if you are an: owner (s) , lessee (s) , optionee (s) (If you are not the owner of the subject property and are a lessee or optionee, it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)
12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts):
RL-7
13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):
One partially completed single family semi-detached dwelling with three more proposed.
14. The applicant seeks to (Describe what you are amending from the original approval in as much detail as possible):
Obtain additional relief for building height and for side yard setback relief for the front corner of the building under construction on Lot 3A which was incorrectly set when the foundation was poured. No change to area relief previously granted.
15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property):
Article II, Section 6 A 3

16. Are you aware if this property has been previously granted approvals from any City Board or Commission?

If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):

Planning Board Site plan Approval 3/21/24; Conservation Commission Order of Conditions 12/4/23;
Zoning Board of Appeals Variance 12/5/22 with extension of same 1/8/24

17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:

Open Building Permit issued for 70-72 Valmor Street.

18. List any additional information relevant to the Variance (s):

Applicant seeks relief for the 35 foot height limit provided in the Zoning Ordinance to allow for the construction of the 4 proposed single family semi-detached dwellings previously proposed. Architectural plans based on building height calculation between mean grade to mean peak which comes in at 35 feet. Code Enforcement calculation based on ridge line measurement.

VARIANCE FINDINGS OF FACT

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:
The Applicant has secured necessary approvals for proposed construction from the various boards involved and has already framed one the four proposed structures. Reduction of the building height would require a complete building redesign and removal of portions of the building currently under construction which would involve a substantial financial hardship for the Applicant.
2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:
The sloped topography on the site results in a higher building height calculation than would occur if the lots were level due to the exposed foundation measurement at ground level inclusion in the height calculation.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The Applicant has proposed additional housing to help meet the demand for same. The proposed use is an allowed use in an RL-7 zone and is in keeping with the surrounding neighborhood. The requested relief takes into account the topography of the site with the mean height measurement of the structures coming in at 35 feet and presents no detriment to the public good nor substantial derogation for the intent of the Ordinance.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required to allow for the proposed construction to proceed in accordance with the plans previously submitted.

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

By: [Signature] ANY For
(Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.

JAE Wor LLC
(Name of Applicant)

90 Madison St., Worcester, MA
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

July 2, 2024
(Date)

By: [Signature] ANY For
(Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.

JAE Wor LLC
(Name of Property Owner)

90 Madison St. Worcester, MA
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

July 2, 2024
(Date)

****ALL APPLICATION DEADLINES ARE 2:00 P.M. UNLESS OTHERWISE SPECIFIED**
APPLICANTS ARE ENCOURAGED TO FILE BEFORE THE DEADLINE DATE WHENEVER POSSIBLE**

CERTIFICATION OF COMPLIANCE WITH WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION

***Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.**

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.

(Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

(1) If a Proprietorship or Single Owner of residential property:

Name of Owner _____

Business Address _____

Home Address _____

Business Phone _____ Home Phone _____

Signature of owner (certifying payment of all municipal charges):

_____ Date: _____

(2) If a Partnership or Multiple Owners of residential property:

Full names and address of all partners

Printed Names

Addresses

_____	_____
_____	_____
_____	_____
_____	_____

Business Address _____

Business Phone _____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____	Date: _____
_____	Date: _____
_____	Date: _____
_____	Date: _____

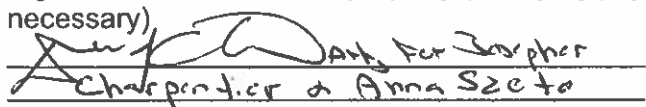
(3) If a Corporation:

Full Legal Name JAE Wor LLC
State of Incorporation Massachusetts
Principal Places of Business Worcester
Place of Business in Massachusetts 90 Madison St, Suite 610, Worcester, MA 01608

Printed Names of Officers of Corporation:	Title
<u>Joseph Charpentier</u>	<u>Manager</u>
<u>Anna Szeto</u>	<u>Manager</u>
_____	_____
_____	_____

Owners of Corporation:	Address	% of stock
Printed Names		
<u>Joseph Charpentier</u>	<u>90 Madison St Worcester, MA</u>	<u>50%</u>
<u>Anna Szeto</u>	<u>90 Madison St, Worcester, MA</u>	<u>50%</u>
_____	_____	_____
_____	_____	_____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

 Date: 7/2/24
Charpentier & Anna Szeto Date: _____
Date: _____
Date: _____

(4) If a Trust:

Name of Trust _____
Business Address _____
Printed Names of Trustees: _____ Address _____

Printed Names of Beneficiaries: _____ Address _____

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____ Date: _____
Date: _____
Date: _____
Date: _____

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant: _____
Signature of Applicant: _____ Date: _____



Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 53

Parcel Address: 70,72,74,76 VALMORE ST & 21,23,35,37
MARANDA ST
 Assessor's Map-Block-Lot(s): 64-010-00004, 34-010-0004B, 34-010-0004A,
34-010-0004C

Owner: JAE WOR LLC

Owner Mailing: 90 MADISON ST
WORCESETR, MA 01608

Petitioner (if other than owner): DONALD J ONEIL
 Petitioner Mailing Address: 688 PLEASANT ST
WORCESTER, MA 01602

Petitioner Phone: 5087555655

Planning: _____ Zoning: X License Commission: _____ Conservation Commission: _____
 Historical: _____ Cannabis: _____ Other: _____

PUIG,ORAISSA + GENAO,ADRIAN M	34-010-00030	0013 MARANDA ST	WORCESTER, MA 01604
JAE WOR LLC	34-010-00004	0090 MADISON ST SUITE 610	WORCESTER, MA 01608
GINGRAS,MICHAEL T + DONNA M	34-010-002-1	0079 MARANDA ST	WORCESTER, MA 01604-2436

HALL,RICHARD W	34-010-00044	0362 HIGH ST	UXBRIDGE, MA 01569
SMALLEY,CLIFTON DONALD + KIMBERLY A	34-010-00006	0014 DUNCANNON AVE APT 3	WORCESTER, MA 01604
RITCHIE,HALEY	34-010-00198	0109 SUNDERLAND RD	WORCESTER, MA 01604
KELICKER,JEFFREY P + ANNE T	34-010-00284	0119 SUNDERLAND RD	WORCESTER, MA 01604-2443
FOSTER,JOHN	34-010-0043A	0115 SUNDERLAND RD	WORCESTER, MA 01604
MEYER,MICHELLE E +	34-010-00008	0024 VALMOR ST	WORCESTER, MA 01604
ZORGE,MICHAEL	34-010-00031	0006 CORRINE ST	WORCESTER, MA 01604
SULLIVAN,LAWRENCE A + SUZANNE	34-010-00007	20 SIMONE ST	WORCESTER, MA 01604
JEAN,ANOULD	34-010-0044A	0016 MARANDA ST	WORCESTER, MA 01604
WESTALL,SAMANTHA	34-010-00022	0015 CORRINE ST	WORCESTER, MA 01604
OPACKI,ANGELA S + THOMAS M	34-011-00023	0022 COUNTY ST	WORCESTER, MA 01604
TOCE,MATTHEW R + MARGARET J	34-010-00001	0080 VALMOR ST	WORCESTER, MA 01604
MAHONEY,MICHAEL ANTHONY	34-010-00043	0077 CORRINE ST	WORCESTER, MA 01604
ABDULMASSIH,JOSEPH +	34-010-0043B	0028 MARANDA ST	WORCESTER, MA 01604
CRANTZ,SCOTT + JULIE	34-012-001+4	0058 COUNTY ST	WORCESTER, MA 01604
GITAU,PENINA W +	34-012-001+2	0087 VALMOR ST	WORCESTER, MA 01604
BOZIL,LAURETTE + JEAN MICKER +	34-012-0001A	0091 VALMOR ST	WORCESTER, MA 01604
AUCLAIR,DAWN E	34-011-00027	0047 VALMOR ST	WORCESTER, MA 01604-2438
SANTIAGO,MARGARITA + LUZ A	34-010-00021	0017 CORRINE ST	WORCESTER, MA 01604
GRAMPEITRO,EDMUND B + BARBARA L	34-010-00033	0018 SIMONE ST	WORCESTER, MA 01604
PINTO,ABIGAIL + NICHOLAS	34-011-0027A	0049 VALMOR ST	WORCESTER, MA 01605
RICHARDS,KATHERINE J +	34-012-00027	0024 COUNTY ST	WORCESTER, MA 01604
TATE,SUZAN + KENYON,ANGELA	34-012-02-3R	081B VALMOR ST	WORCESTER, MA 01604
SKOCZYLAS,BETA M + HENRYK W	34-012-00001	0009 FAIRFIELD DR	DUDLEY, MA 01571
COVELLO,ANTHONY F	34-010-00272	0025 SIMONE ST	WORCESTER, MA 01604
FRECHETTE,JOSEPH GERARD	34-010-00019	0029 SIMONE ST	WORCESTER, MA 01604
LUCK,SEAN	34-012-00026	0028 COUNTY ST	WORCESTER, MA 01604
WEEMS,DARIUS A + NUGENT,KRYSTAL J	34-010-0239B	0024 MARANDA ST	WORCESTER, MA 01604
COVELLO,MICHAEL R +	34-010-00018	65 CORRINE ST	WORCESTER, MA 01604
RENE,JUNIOR H + ILAS,DARLINE	34-010-00002	0125 SUNDERLAND RD	WORCESTER, MA 01604
SMITH,PATRICIA A	34-012-001+1	0089 VALMORE ST	WORCESTER, MA 01604
BARTLETT, TRACY S	34-010-0239A	0026 MARANDA ST	WORCESTER, MA 01604
DUGGAN,DEBRA A	34-012-00025	0054 COUNTY ST	WORCESTER, MA 01604-2404
LOPES,JESSICA	34-012-001+5	0056 COUNTY ST	WORCESTER, MA 01604
HIRUDAYASAMY,JOHN PAUL +	34-010-0002A	0022 PAXTON RD	SHREWSBURY, MA 01545
CLAIREMONT,EVAN + KIMBERLY	34-010-02R-B	0082 VALMOR ST	WORCESTER, MA 01604
CARRANZA,KATHERINE	34-010-0002B	0141 SUNDERLAND RD	WORCESTER, MA 01604
ROBIDOUX,RAYMOND R + MARCIA M	34-012-001+3	0060 COUNTY ST	WORCESTER, MA 01604
PERRY,JOAN F	34-010-00038	0078 VALMOR ST	WORCESTER, MA 01604
SWIDLER,RONALD A+MARIA M	34-011-00022	0018 COUNTY ST	WORCESTER, MA 01604-2404
ISUFI,AFRIM D	34-011-29-D2	0029 VALMOR ST	WORCESTER, MA 01604
ISUFI,EMINE	34-011-29-D1	0027 VALMOR ST	WORCESTER, MA 01604
DASILVA,ALESSANDRE + ROSEMAR P	34-011-0001A	0040 COUNTY ST	WORCESTER, MA 01604

LOPEZ,AGUSTIN	34-011-28-E2	0033 VALMOR ST	WORCESTER, MA 01604
DUNLEVY,KEVIN P	34-011-28-E1	339 BROOKS ST	WORCESTER, MA 01606-1303
AFABLE,JOLYON PHILIP A +	34-012-02-3L	81A VALMOR STREET	WORCESTER, MA 01604
BROUGH,AUSTIN + FERRARONE,CHLOE	34-012-00002	0079 VALMOR ST	WORCESTER, MA 01604
MUJJUZI,MARVIN S	34-012-002-1	0077 VALMOR ST	WORCESTER, MA 01604
JAE WOR LLC	34-010-0006A	0090 MADISON ST SUITE 610	WORCESTER, MA 01608
CLAIREMONT,EVAN	34-010-02R-A	0084 VALMOR ST	WORCESTER, MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 64-010-00004, 34-010-0004B, 34-010-0004A, 34-010-0004C as cited above.

Certified by:

Samuel E. Kainczyk

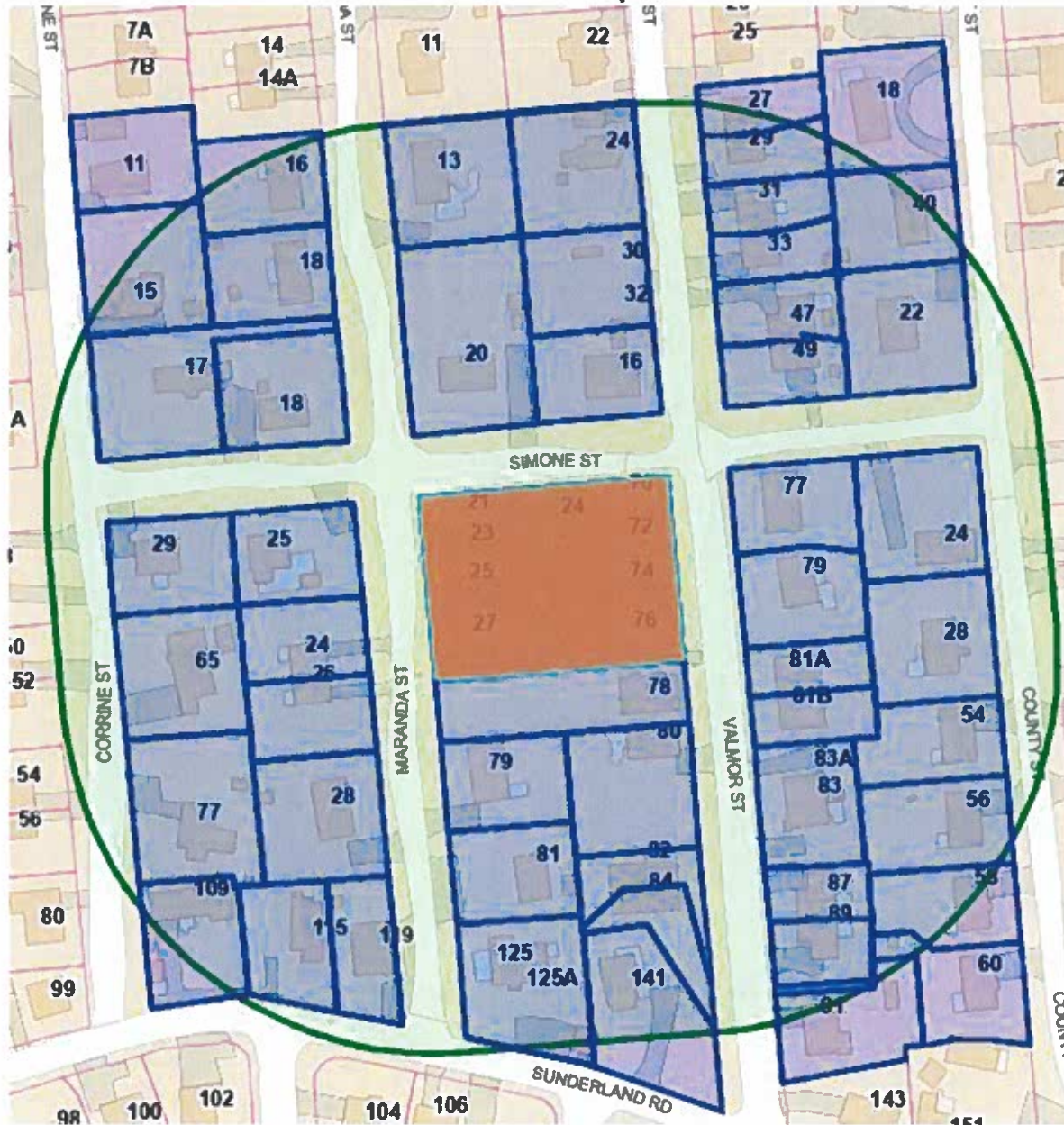
Signature

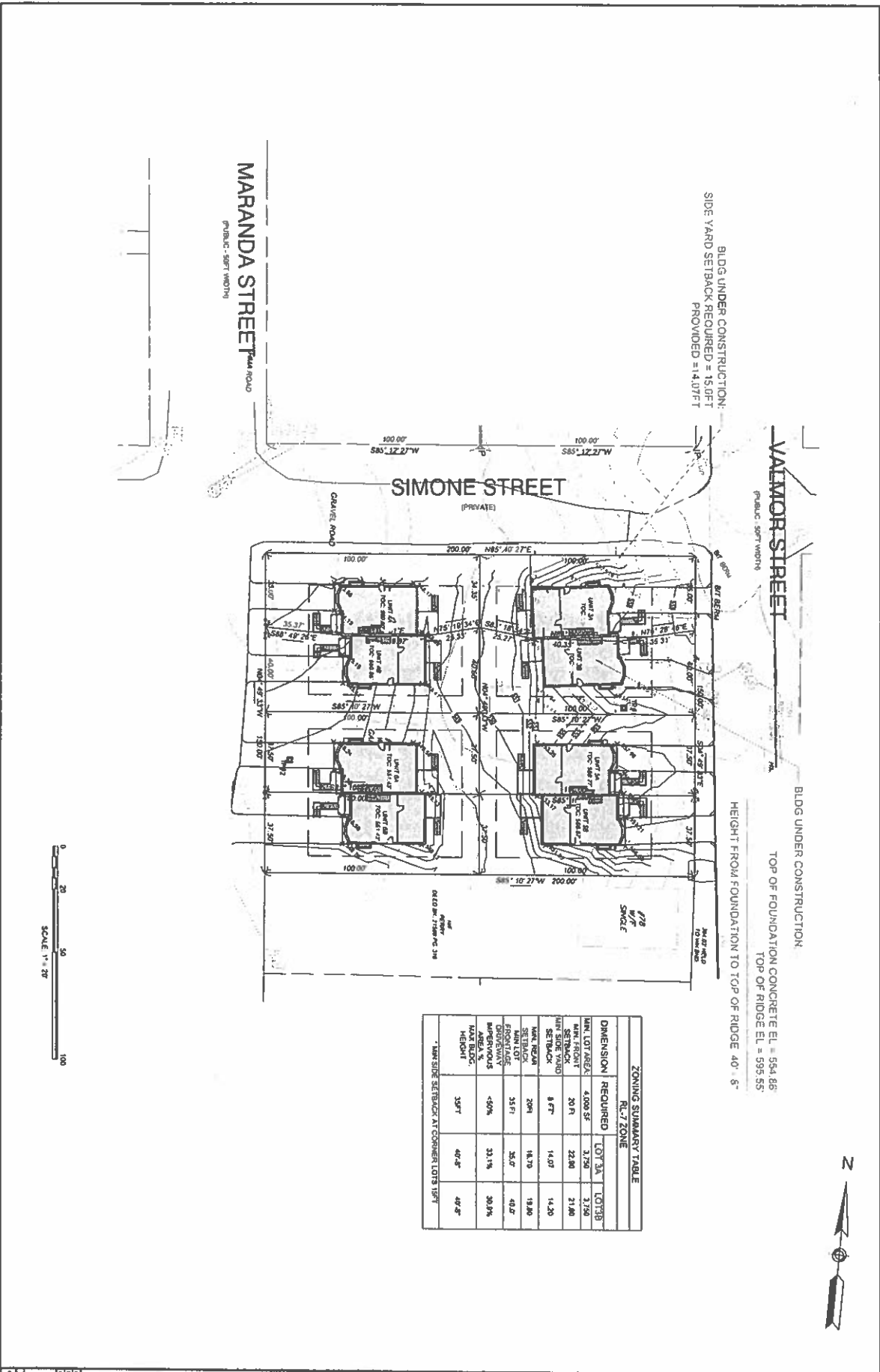
07/02/2024

Date



Abutters Map



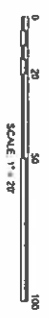


BLDG UNDER CONSTRUCTION:
 SIDE YARD SETBACK REQUIRED = 15.0 FT
 PROVIDED = 14.0 FT

BLDG UNDER CONSTRUCTION:
 TOP OF FOUNDATION CONCRETE EL. = 554.55
 TOP OF RIDGE EL. = 595.55
 HEIGHT FROM FOUNDATION TO TOP OF RIDGE 40' ± 5"

ZONING SUMMARY TABLE		RL-7 ZONE	
DIMENSION	REQUIRED	LOT 3A	LOT 3B
MIN. LOT AREA	4,000 SF	3,750	3,750
MIN. FRONT SETBACK	20 FT	22.80	21.80
MIN. SIDE YARD SETBACK	8 FT	14.07	14.20
MIN. REAR SETBACK	20 FT	18.10	18.80
MIN. LOT FRONT SETBACK	35 FT	35.07	40.07
MINIMUM IMPERVIOUS AREAS	<50%	33.1%	30.5%
MIN. MAX. HEIGHT	30 FT	40 FT	40 FT

*MIN. SIDE SETBACK AT CORNER LOTS 15 FT



3, 4, 5, & 6 VALMOR ST. WORCESTER, MA 01604 SITE PLANS



LOCUS MAP 1"=400'

OWNER/
APPLICANT: +

JAE WOR LLC

SITE ADDRESS: +

2, 3, 4, 5, & 6 VALMOR ST.,
WORCESTER, MA 01604

DRAWING LIST +

- CIVIL PLANS**
- 1. GLO CONFORMANCE
 - 2. GLO NOTES
 - 3. VLL EXISTING CONDITIONS PLAN
 - 4. GLL PARCEL LAYOUT PLAN
 - 5. GLL SITE PLAN
 - 6. GLL SHADING PLAN
 - 7. GLL UTILITY PLAN
 - 8. GLL LANDSCAPE PLAN
 - 9. GLL LUMINOUS PLANNING PLAN
 - 10. GLL DETAIL SHEET 1 OF 3
 - 11. GLL DETAIL SHEET 2 OF 3
 - 12. GLL DETAIL SHEET 3 OF 3

6/10/2024	CONFORMED - PLANNING BOARD & CONSERVATION COMMISSION	4
3/27/2024	PLANNING BOARD & CONSERVATION COMMISSION	3
2/15/2024	PLANNING BOARD & CONSERVATION COMMISSION	2
11/28/2023	PLANNING BOARD & CONSERVATION COMMISSION	1
10/18/2023	PLANNING BOARD & CONSERVATION COMMISSION	0



ARCHITECTURAL PLANS

OLSON SAUND ARCHITECTS INC.
300 BARK STREET
WORCESTER, MA 01608
(508) 755-0522

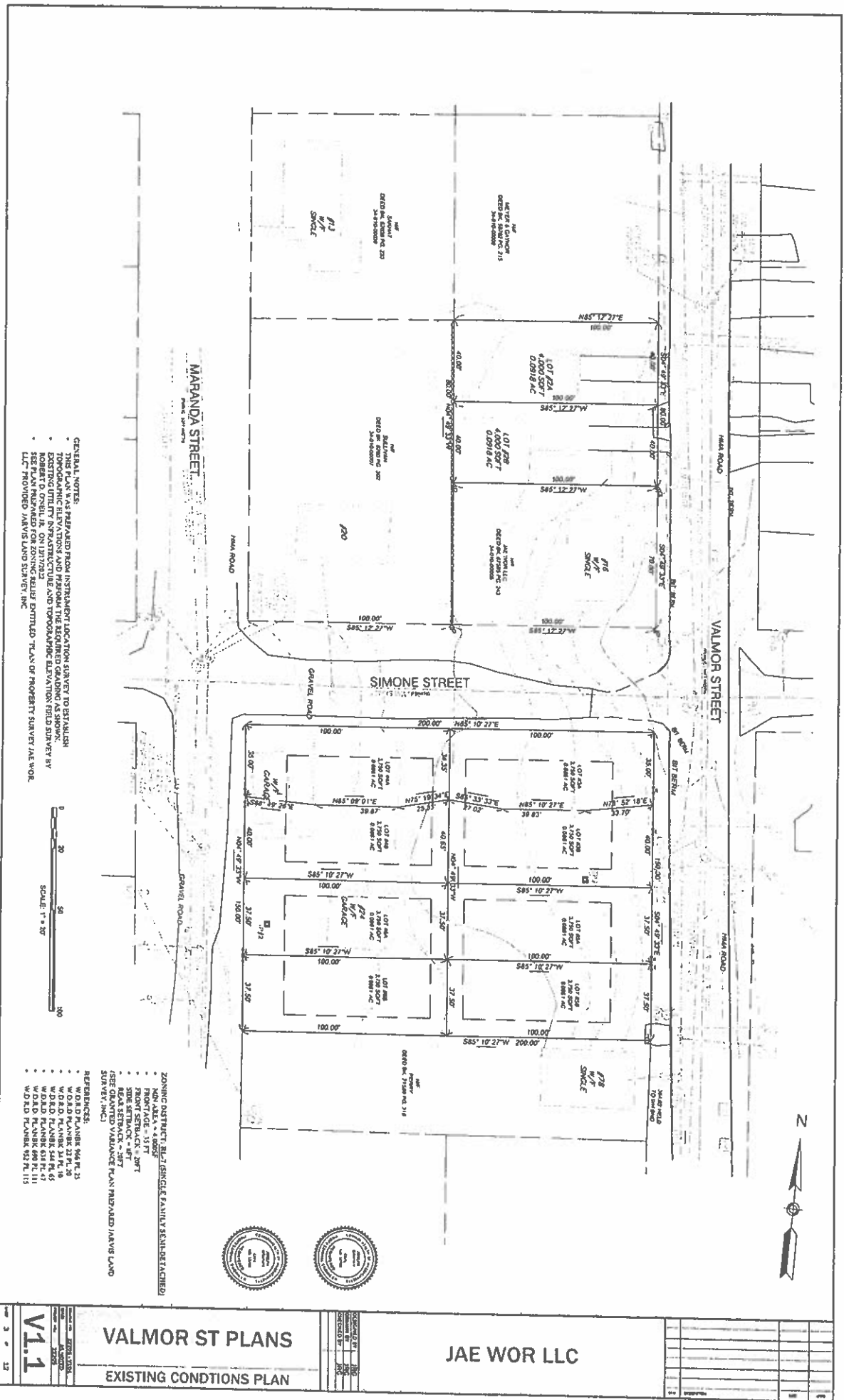
CIVIL ENGINEERING

JOE GRANATA, P.E.
12 BERRY DRIVE
WORCESTER, MA 01606
(508) 853-0496

LAND SURVEYING

ROBERT G. DYER, JR.
54 CRUTT LIL
WORCESTER, MA 01604
(508) 855-1114

3, 4, 5 & 6 VALMOR ST.



GENERAL NOTES:

- THIS PLAN WAS PREPARED FROM INSTRUMENT LOCATION SURVEY TO ESTABLISH
- TOPOGRAHIC ELEVATIONS AND PROVIDE THE REQUIRED GRADING AS SHOWN.
- EXISTING UTILITY INFRASTRUCTURE AND TOPOGRAHIC ELEVATION FIELD SURVEY BY
- SEE PLAN PROVIDED FOR ZONING REGULATORY ENTITLED "PLAN OF PROPERTY SURVEY JAE WOR
- LLC PROVIDED JAEVIS LAND SURVEY, INC



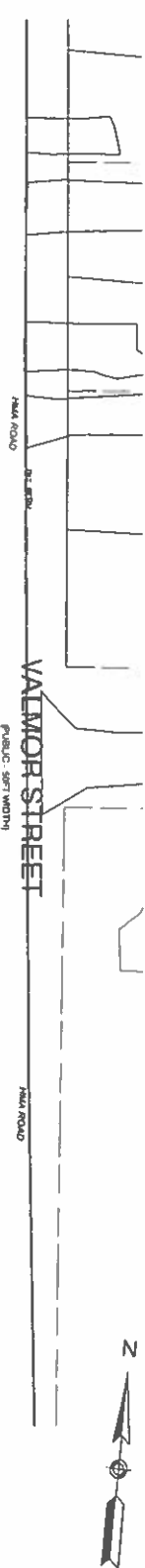
REFERENCES:

- W.D.R.D. PLANS 94 R. 31
- W.D.R.D. PLANS 94 R. 32
- W.D.R.D. PLANS 94 R. 33
- W.D.R.D. PLANS 94 R. 34
- W.D.R.D. PLANS 94 R. 35
- W.D.R.D. PLANS 94 R. 36
- W.D.R.D. PLANS 94 R. 37
- W.D.R.D. PLANS 94 R. 38
- W.D.R.D. PLANS 94 R. 39
- W.D.R.D. PLANS 94 R. 40
- W.D.R.D. PLANS 94 R. 41
- W.D.R.D. PLANS 94 R. 42
- W.D.R.D. PLANS 94 R. 43
- W.D.R.D. PLANS 94 R. 44
- W.D.R.D. PLANS 94 R. 45
- W.D.R.D. PLANS 94 R. 46
- W.D.R.D. PLANS 94 R. 47
- W.D.R.D. PLANS 94 R. 48
- W.D.R.D. PLANS 94 R. 49
- W.D.R.D. PLANS 94 R. 50
- W.D.R.D. PLANS 94 R. 51
- W.D.R.D. PLANS 94 R. 52
- W.D.R.D. PLANS 94 R. 53
- W.D.R.D. PLANS 94 R. 54
- W.D.R.D. PLANS 94 R. 55
- W.D.R.D. PLANS 94 R. 56
- W.D.R.D. PLANS 94 R. 57
- W.D.R.D. PLANS 94 R. 58
- W.D.R.D. PLANS 94 R. 59
- W.D.R.D. PLANS 94 R. 60
- W.D.R.D. PLANS 94 R. 61
- W.D.R.D. PLANS 94 R. 62
- W.D.R.D. PLANS 94 R. 63
- W.D.R.D. PLANS 94 R. 64
- W.D.R.D. PLANS 94 R. 65
- W.D.R.D. PLANS 94 R. 66
- W.D.R.D. PLANS 94 R. 67
- W.D.R.D. PLANS 94 R. 68
- W.D.R.D. PLANS 94 R. 69
- W.D.R.D. PLANS 94 R. 70
- W.D.R.D. PLANS 94 R. 71
- W.D.R.D. PLANS 94 R. 72
- W.D.R.D. PLANS 94 R. 73
- W.D.R.D. PLANS 94 R. 74
- W.D.R.D. PLANS 94 R. 75
- W.D.R.D. PLANS 94 R. 76
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- W.D.R.D. PLANS 94 R. 79
- W.D.R.D. PLANS 94 R. 80
- W.D.R.D. PLANS 94 R. 81
- W.D.R.D. PLANS 94 R. 82
- W.D.R.D. PLANS 94 R. 83
- W.D.R.D. PLANS 94 R. 84
- W.D.R.D. PLANS 94 R. 85
- W.D.R.D. PLANS 94 R. 86
- W.D.R.D. PLANS 94 R. 87
- W.D.R.D. PLANS 94 R. 88
- W.D.R.D. PLANS 94 R. 89
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- W.D.R.D. PLANS 94 R. 92
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- W.D.R.D. PLANS 94 R. 94
- W.D.R.D. PLANS 94 R. 95
- W.D.R.D. PLANS 94 R. 96
- W.D.R.D. PLANS 94 R. 97
- W.D.R.D. PLANS 94 R. 98
- W.D.R.D. PLANS 94 R. 99
- W.D.R.D. PLANS 94 R. 100

VALMOR ST PLANS
EXISTING CONDITIONS PLAN

JAE WOR LLC

V1.1



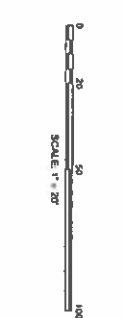
ZONING SUMMARY TABLE

DIMENSION	REQUIRED	LOT 2A	LOT 2B	LOT 3A	LOT 3B	LOT 4A	LOT 4B	LOT 5A	LOT 5B	LOT 6A	LOT 6B	LOT 7A	LOT 7B
MIN LOT AREA	4,000 SF	4,000	4,000	3,750	3,500	3,250	3,000	2,750	2,500	2,250	2,000	1,750	1,500
MIN LOT FRONTAGE	38 FT	40 FT	40 FT	35 FT	40 FT	40 FT	35 FT	40 FT	40 FT	37 FT	37 FT	37 FT	37 FT

MAIN SIDE SETBACK AT CORNER LOT 1'S E/S

GENERAL NOTES:

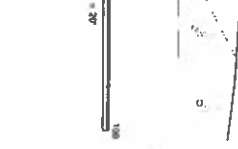
- THIS PLAN WAS PREPARED FROM INSTRUMENT LOCATION SURVEY TO ESTABLISH
- EXISTING UTILITY INFRASTRUCTURE AND FROM THE REQUIRED GRADING AS SHOWN
- ROBERT D. OWEN, JR., ON 10/17/2021
- SEE PLAN PREPARED FOR ZONING APPLICATION ENTITLED "PLAN OF PROPERTY SURVEY JAE WOR LLC"
- SEE PLAN PREPARED FOR ZONING APPLICATION ENTITLED "PLAN OF PROPERTY SURVEY JAE WOR LLC"



ZONING SUMMARY TABLE
R-L7 ZONE

DIMENSION REQUIRED	LOT 2A	LOT 2B	LOT 3A	LOT 3B	LOT 4A	LOT 4B	LOT 5A	LOT 5B	LOT 6A	LOT 6B
MIN. LOT AREA	4,000 SF	4,000	3,150	3,150	3,150	3,150	3,150	3,150	3,150	3,150
MIN. FRONT SETBACK	20 FT	20 FT	20 FT	20 FT	22.5	22.5	22.5	22.5	22.5	22.5
MIN. SIDE YARD SETBACK	8 FT	15.1	12.8	15.1	12.8	13.8	14.0	14.1	14.1	13.7
MIN. REAR SETBACK	20 FT	19.8	21.0	19.5	18.0	18.0	19.5	18.5	18.0	17.5
MIN. LOT FRONTAGE	35 FT	35.0	40.0	35.0	40.0	37.5	37.5	37.5	37.5	37.5
MIN. DRIVEWAY WIDTH	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT	10 FT
MIN. SIDE SETBACK AT CORNER LOTS 1ST	4.0%	3.1%	2.0%	3.3%	3.0%	3.2%	3.2%	3.2%	3.2%	3.2%

GENERAL NOTES:
 THIS PLAN WAS PREPARED FROM INSTANTANT LOCATION SURVEY TO ESTABLISH CONDOMINIUM RELATIONS AND RETURN THE REQUIRED GRADING AS SHOWN. ELEVATIONS ARE IN FEET AND DECIMALS THEREOF. ELEVATION FIELD SURVEY BY ROBERT D. O'NEIL, R.S. ON 1/17/2022.
 SEE PLAN PREPARED FOR ZONING RELIEF ENTITLED "PLAN OF PROPERTY SURVEY JAE WOR, LLC" PROVIDED HARVEY LAND SURVEY, INC.

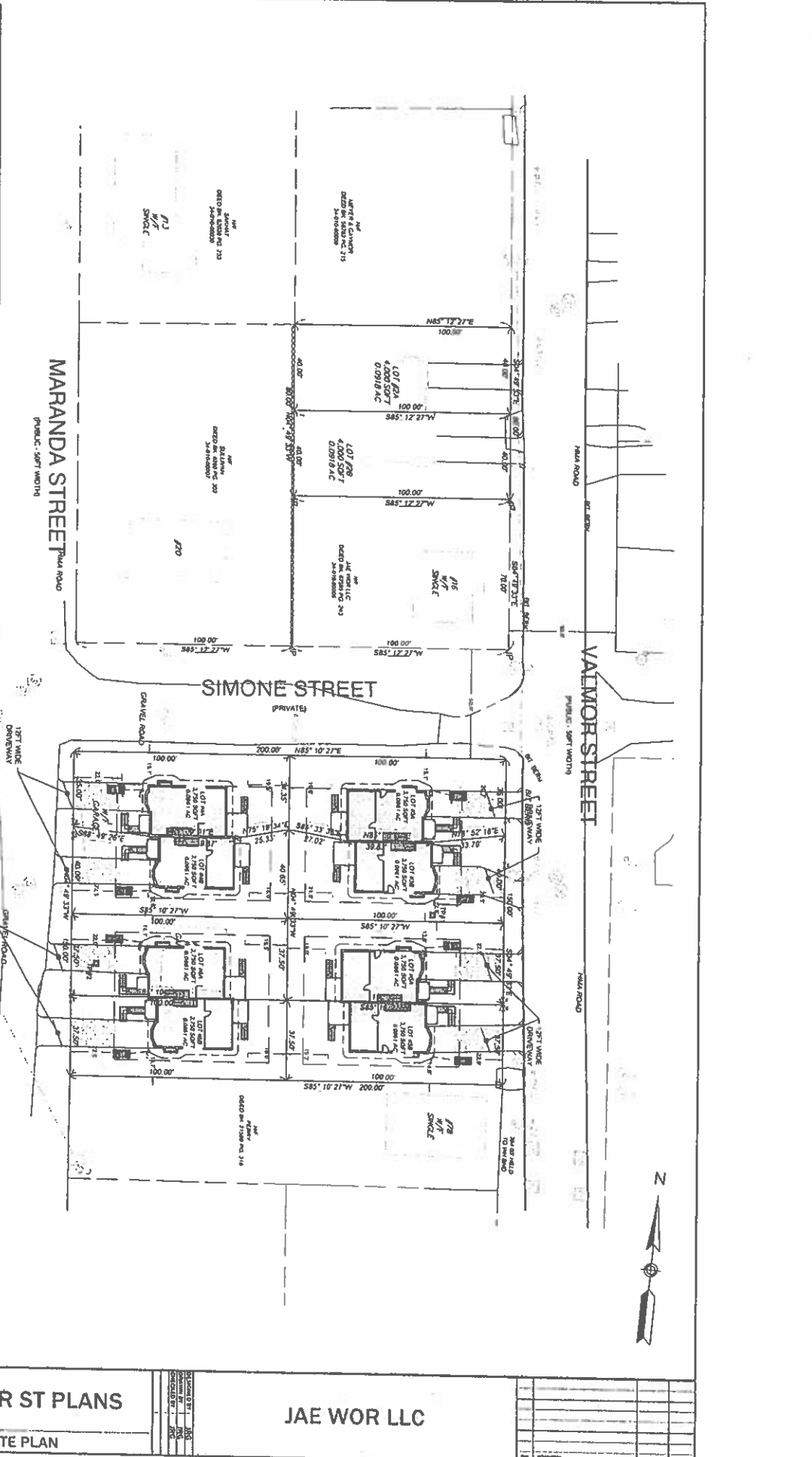


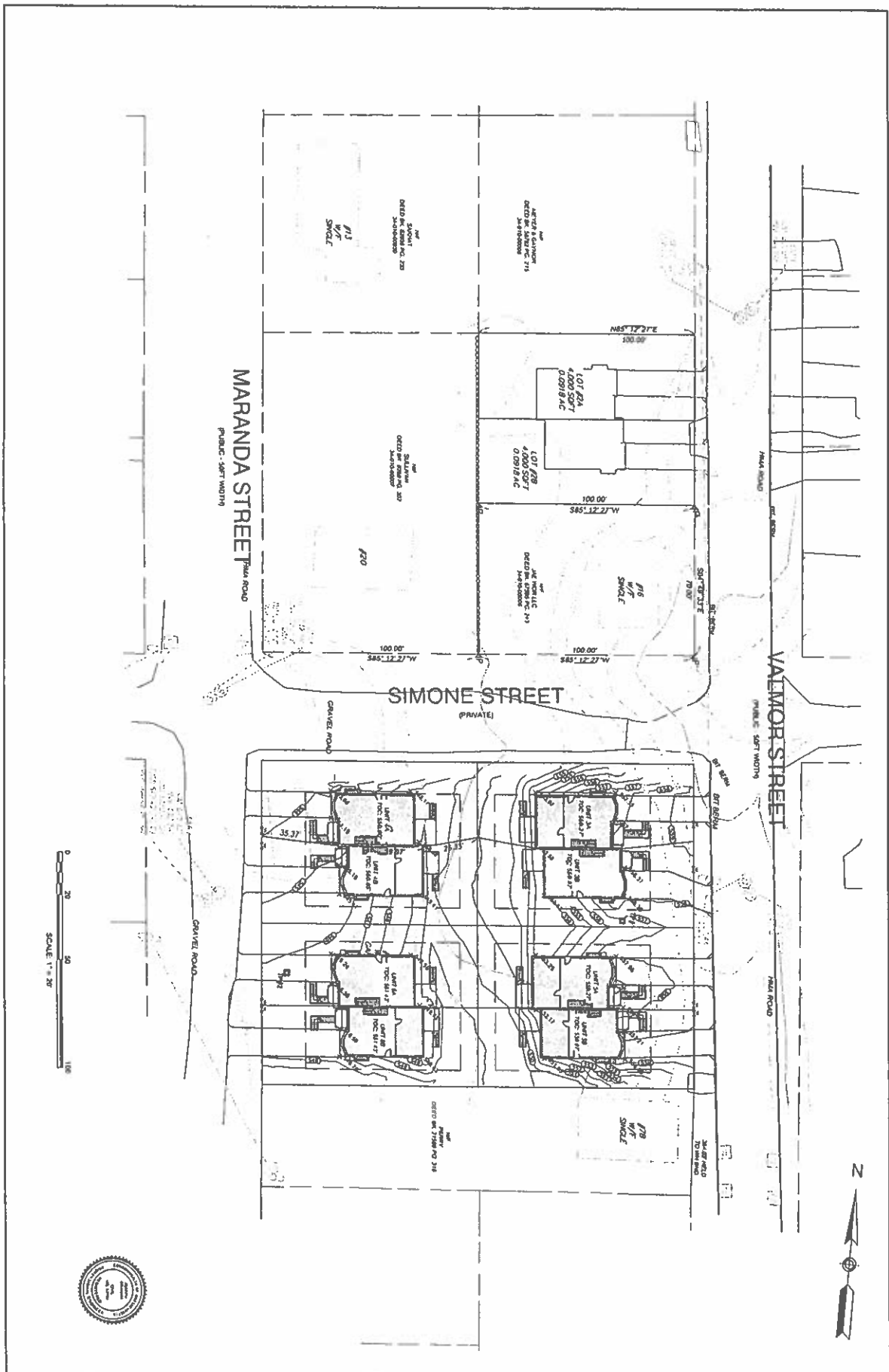
VALMOR ST PLANS
SITE PLAN

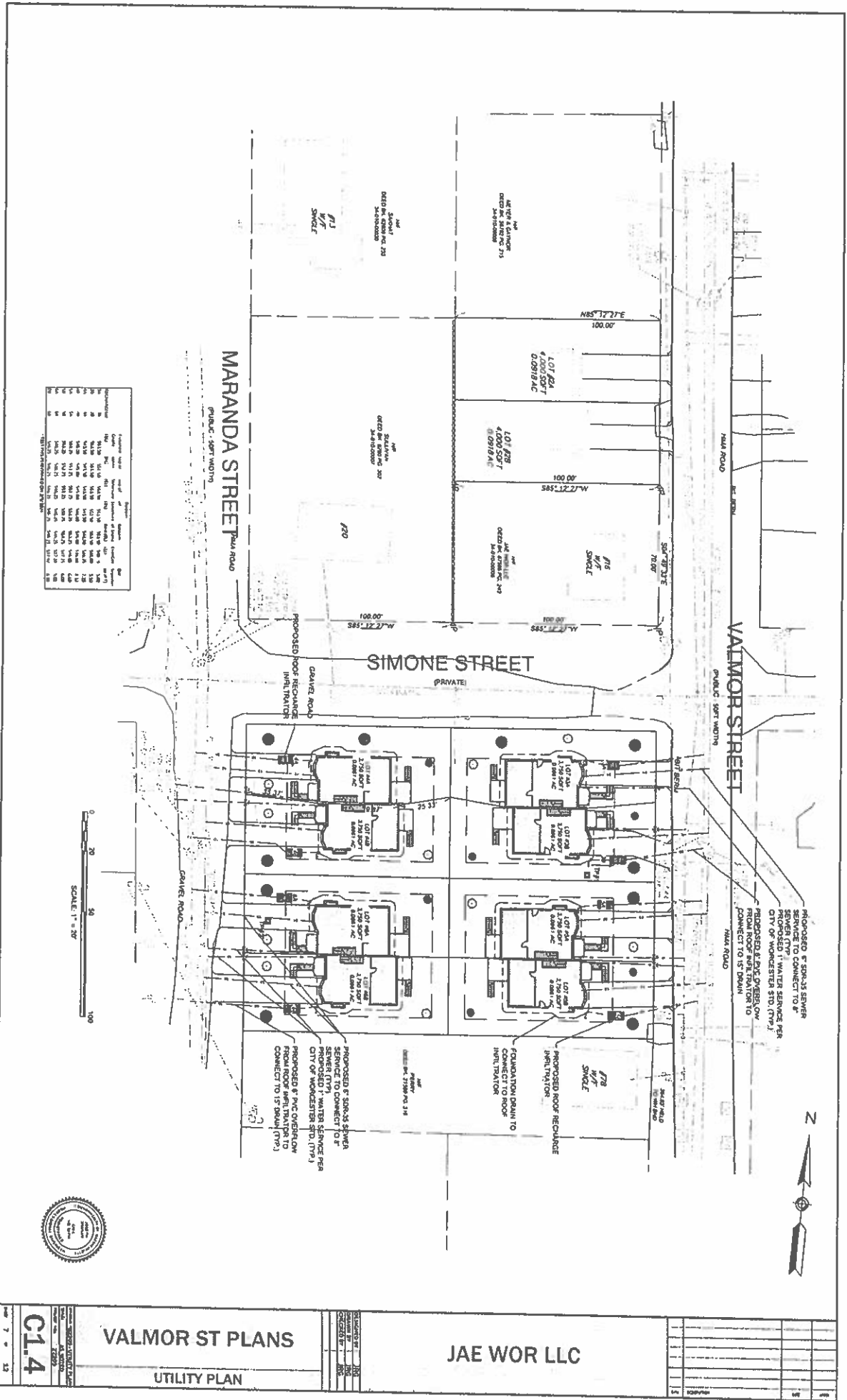
JAE WOR LLC

C1.2

DATE: 01/17/2022
 DRAWN BY: JAE WOR
 CHECKED BY: JAE WOR
 PROJECT NO: 2202





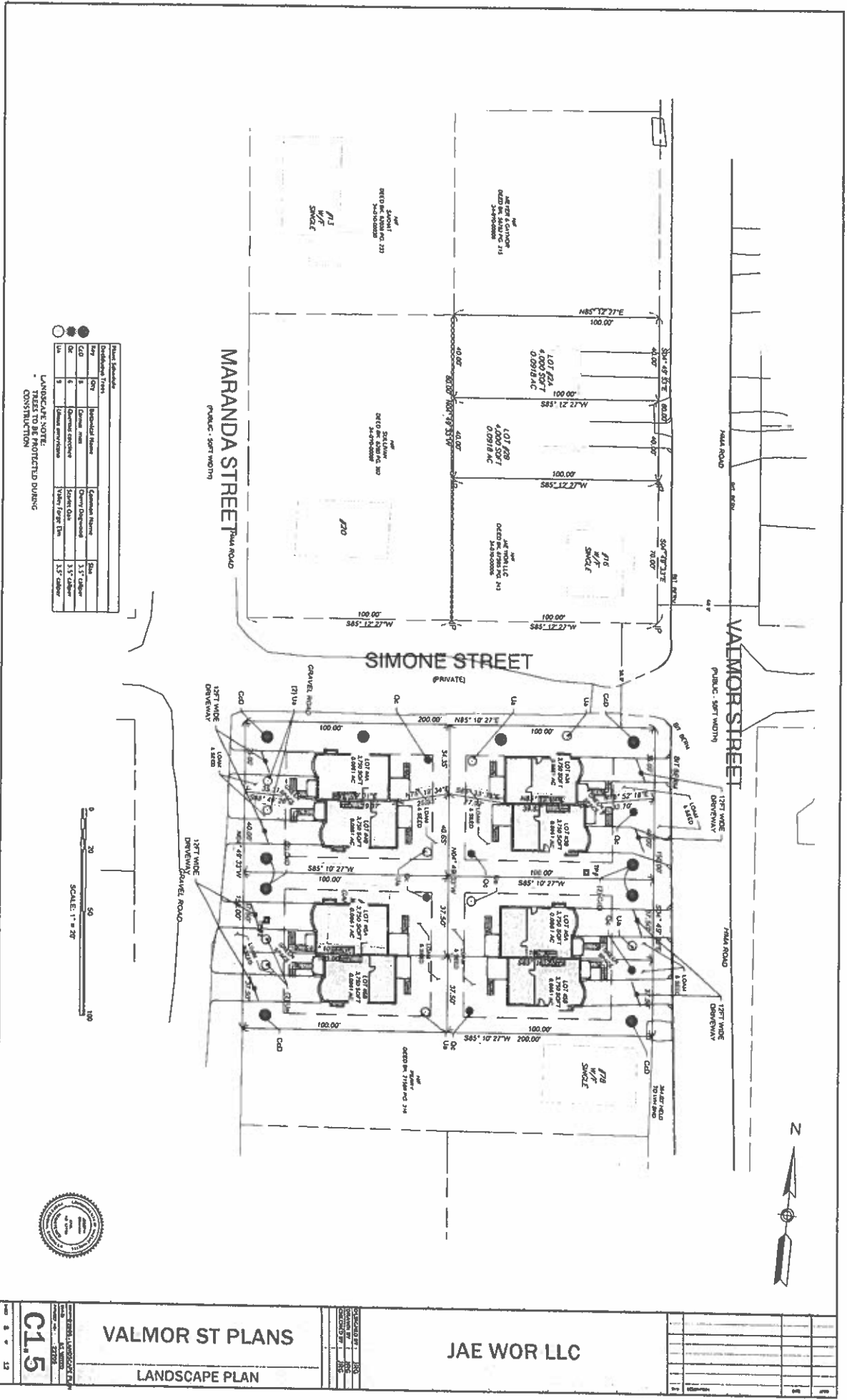


Lot No.	Area (sq. ft.)	Owner	Notes
1	10,000	JAE WOR LLC	LOT #2A
2	10,000	JAE WOR LLC	LOT #2B
3	10,000	JAE WOR LLC	LOT #3A
4	10,000	JAE WOR LLC	LOT #3B
5	10,000	JAE WOR LLC	LOT #4A
6	10,000	JAE WOR LLC	LOT #4B
7	10,000	JAE WOR LLC	LOT #5A
8	10,000	JAE WOR LLC	LOT #5B
9	10,000	JAE WOR LLC	LOT #6A
10	10,000	JAE WOR LLC	LOT #6B
11	10,000	JAE WOR LLC	LOT #7A
12	10,000	JAE WOR LLC	LOT #7B
13	10,000	JAE WOR LLC	LOT #8A
14	10,000	JAE WOR LLC	LOT #8B
15	10,000	JAE WOR LLC	LOT #9A
16	10,000	JAE WOR LLC	LOT #9B
17	10,000	JAE WOR LLC	LOT #10A
18	10,000	JAE WOR LLC	LOT #10B

SCALE 1" = 20'



C1.4	VALMOR ST PLANS	JAE WOR LLC	
UTILITY PLAN			



Plant Schedule			
Code	Qty	Species/Notes	Plant
CD	1	Cherry Dogwood	5.5' Caliper
CD	5	Quercus prinus	5.5' Caliper
CD	6	Quercus prinus	5.5' Caliper
CD	9	Yellow Forge Elm	5.5' Caliper
CD	1	Swale	

LANDSCAPE NOTE:
TREES TO BE PROTECTED DURING CONSTRUCTION



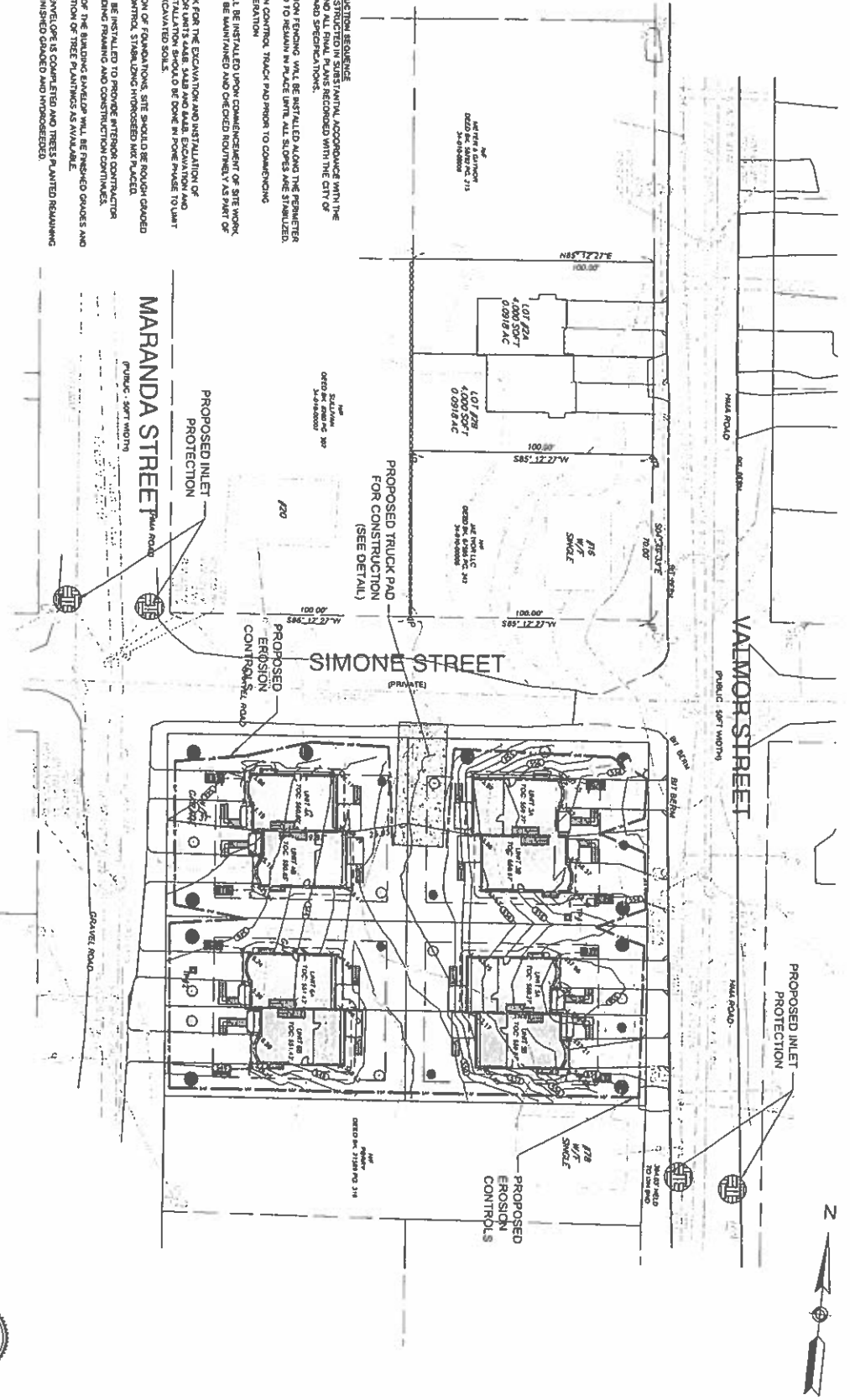
C15


VALMOR ST PLANS
LANDSCAPE PLAN

JAE WOR LLC

NO.	DATE	REVISION

- PROPOSED CONSTRUCTION SEQUENCE**
PROJECT TO BE CONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE
REQUIREMENTS OF FACT AND ALL RIVAL PLANS RECORDED WITH THE CITY OF
WORCESTER STANDARD SPECIFICATIONS.
1. HANDBUILT STATION FENCING WILL BE INSTALLED ALONG THE PERIMETER
OF THE SITE AND TO MEAN IN PLACE UNTIL ALL SLOPES ARE STABILIZED.
 2. INITIAL EROSION CONTROL TRUCK PAD PRIOR TO COMMENCING
EARTHWORK OPERATION.
 3. SILT SACKS SHALL BE INSTALLED UPON COMMENCEMENT OF SITE WORK.
SILT SACKS WILL BE MAINTAINED AND CHECKED ROUTINELY AS PART OF
THE SWEEP.
 4. BEGIN SITE WORK FOR THE EXCAVATION AND INSTALLATION OF
FOUNDATIONS FOR UNITS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21,
AND EROSION CONTROL. STABILIZING HYDROSEED MAT PLACED.
 5. UPON COMPLETION OF FOUNDATIONS, SITE SHOULD BE ROUGH GRADED
AND EROSION CONTROL, STABILIZING HYDROSEED MAT PLACED.
 6. DRIPGAINS WILL BE INSTALLED TO PROVIDE INTERIOR CONTRACTOR
PARADES AS BUILDING FORWARD AND CONSTRUCTION CONTINUES.
 7. AREAS OUTSIDE OF THE BUILDING ENVELOPE WILL BE FINISHED GRADES AND
ALLOW INSTALLATION OF TREE PLANTINGS AS AVAILABLE.
 8. ONCE BUILDING ENVELOPE IS COMPLETED AND TREES PLANTED REMAINING
AREAS WILL BE FINISHED GRADED AND HYDROSEED.



 EC1.1 <small>DATE: 09/15/2023</small>	VALMOR ST PLANS EROSION CONTROL PLAN	JAE WOR LLC
----------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------	--------------------



7 TREE PLANTING



8 SHRUB PLANTING



9 PLANTING ON SLOPE



10 LOAM AND SEED

9 SLOPE STABILIZATION

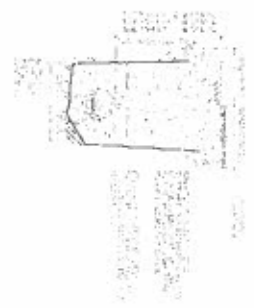


11 INFILTRATION UNIT DETAIL

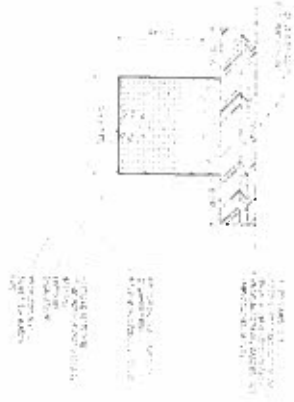


12 BIT. CONC. PAVEMENT





13 TYP. TRENCH DETAIL



14 PERMANENT HMA PATCH



15 WATER SERVICE CONNECTION



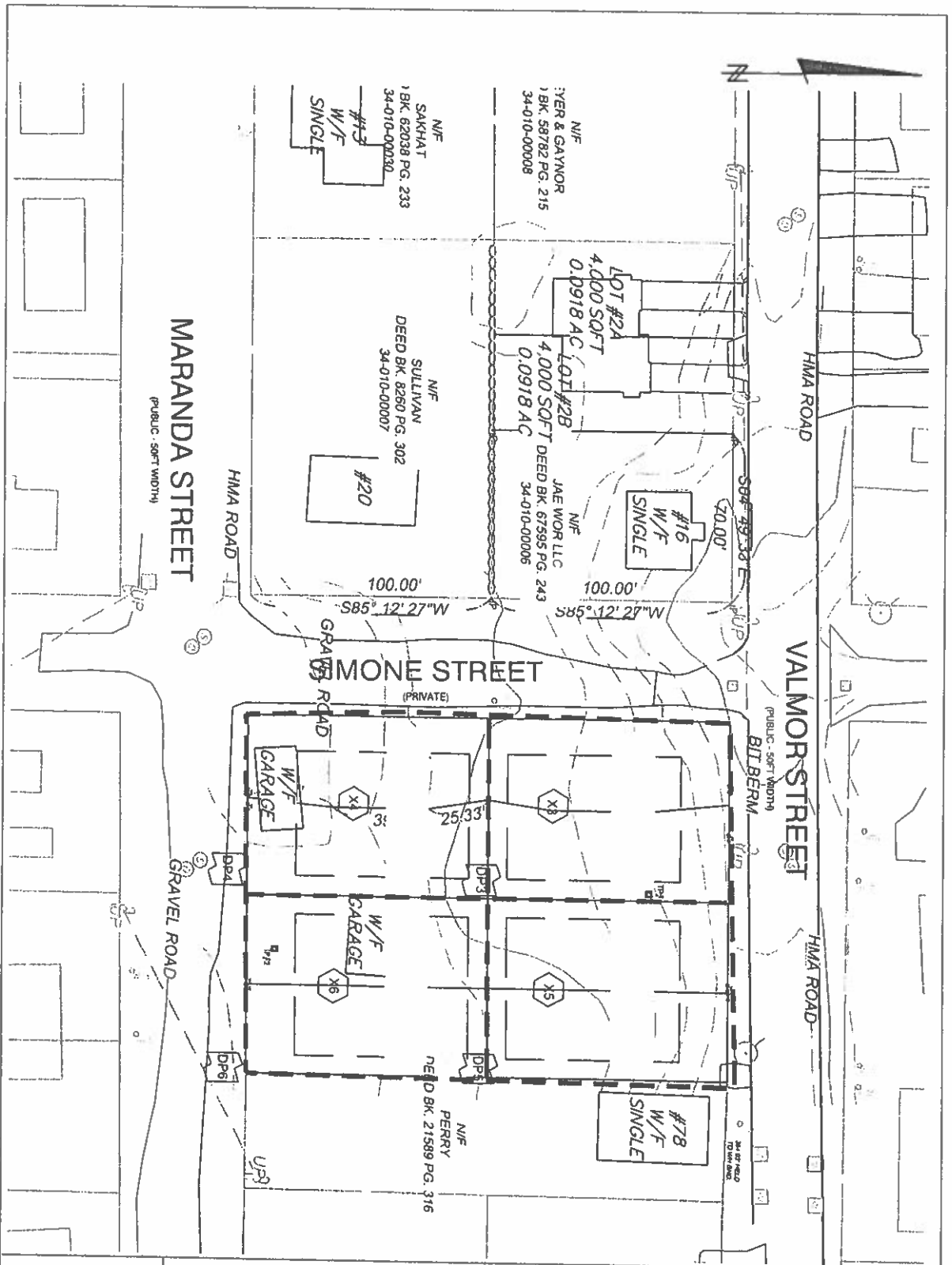
16 SEWER SERVICE CONNECTION



17 ROOF DRAIN CLEANOUT



VALMOR SITE PLAN C52.2 14 1/2" x 23"	JAE WOR LLC 1000 N. CENTRAL AVENUE PHOENIX, AZ 85004 (602) 998-1111 www.jaeWOR.com	PROJECT NO.	SHEET NO.	DATE
		DRAWN BY	CHECKED BY	DATE



EXISTING CONDITIONS
DRAINAGE AREAS
SITE PLAN
IN
WORCESTER, MA

OWNED BY:
JAE WOR LLC

DATE: Jan. 16, 2014

REVISION:
REV 0

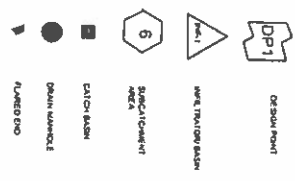
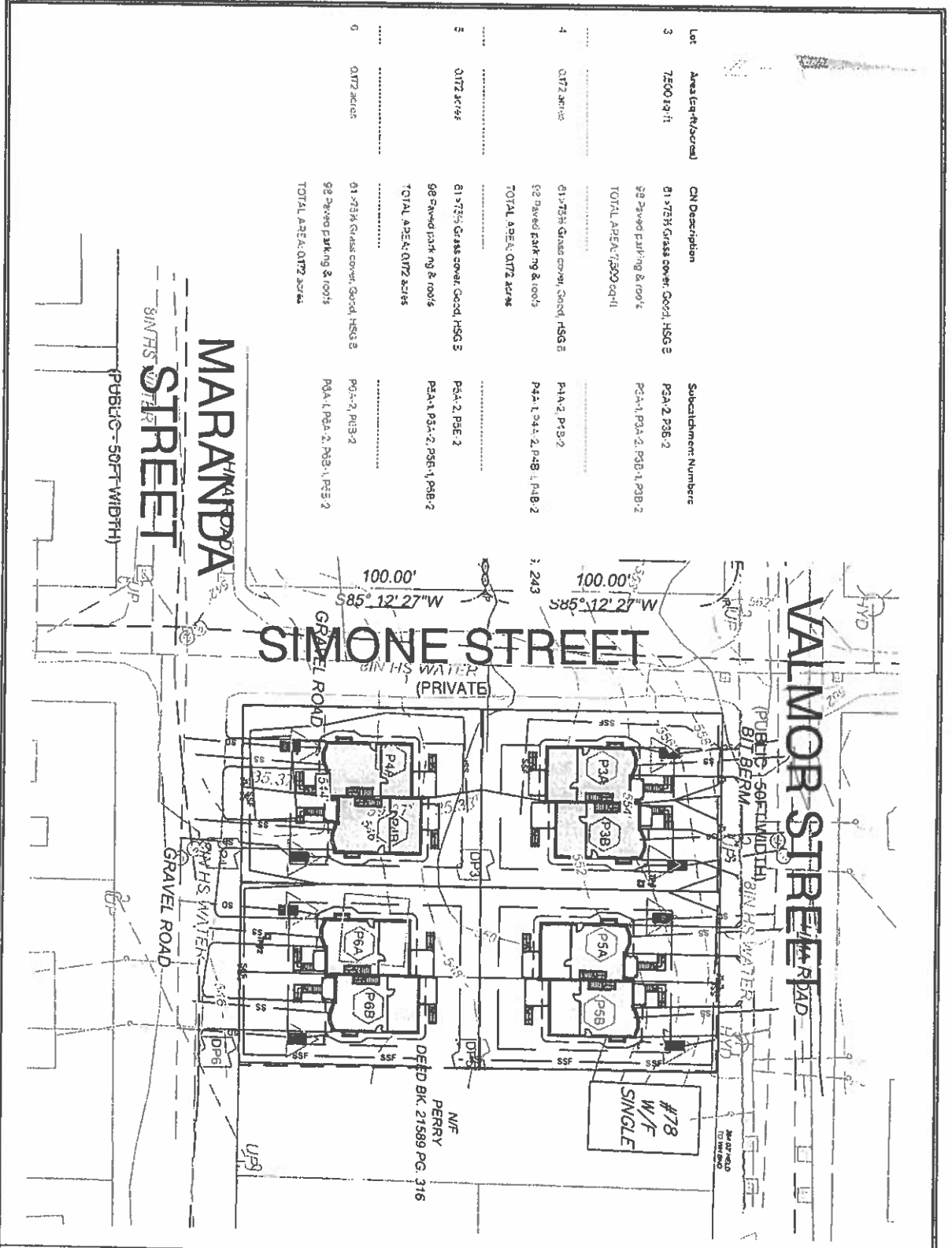


FIG-1



Lot	Area (sq ft/Acre)	CN Description	Subcatchment Number
3	7500 sq ft	01 175% Grass cover, Good, HSG 2	P3A-2, P3B-2
		02 Paved parking & roof	P3A-1, P3A-2, P3B-1, P3B-2
		TOTAL AREA: 7500 sq ft	
4	0.172 acres	01 175% Grass cover, Good, HSG 2	P4A-2, P4B-2
		02 Paved parking & roof	P4A-1, P4A-2, P4B-1, P4B-2
		TOTAL AREA: 0.172 acres	
5	0.172 acres	01 175% Grass cover, Good, HSG 2	P5A-2, P5B-2
		02 Paved parking & roof	P5A-1, P5A-2, P5B-1, P5B-2
		TOTAL AREA: 0.172 acres	
0	0.172 acres	01 175% Grass cover, Good, HSG 2	P0A-2, P0B-2
		02 Paved parking & roof	P0A-1, P0A-2, P0B-1, P0B-2
		TOTAL AREA: 0.172 acres	

PROPOSED DRAINAGE AREAS - 249 WEST ROYLSTON ST. IN WORCESTER, MA

OWNED BY:
JAE WOR LLC

DATE:
March 10, 2024

DRAWN BY: [Name]

REVISION: [List]

SCALE: 1"=40'

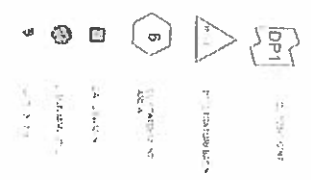


FIG-2

NEW CONSTRUCTION:

PROPOSED DUPLEX

PROJECT LOCATION
74-76 VALMOR STREET
WORCESTER, MA 01604

CLIENT
FOREVER MECHANICAL HVAC/R, INC.
90 MADISON STREET
WORCESTER, MA 01608

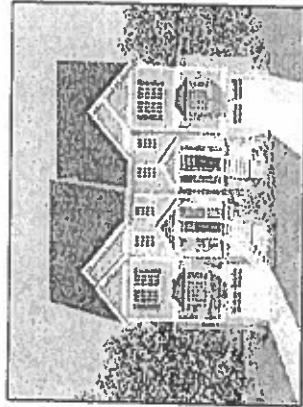
ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

LIST OF DRAWINGS

NO.	DESCRIPTION	DATE
1	FOUNDATION	06/27/2024
2	FLOOR PLAN	06/27/2024
3	ELEVATIONS	06/27/2024
4	SECTION	06/27/2024
5	MECHANICAL	06/27/2024
6	ELECTRICAL	06/27/2024
7	PLUMBING	06/27/2024
8	MECHANICAL	06/27/2024
9	ELECTRICAL	06/27/2024
10	PLUMBING	06/27/2024
11	MECHANICAL	06/27/2024
12	ELECTRICAL	06/27/2024
13	PLUMBING	06/27/2024
14	MECHANICAL	06/27/2024
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18	ELECTRICAL	06/27/2024
19	PLUMBING	06/27/2024
20	MECHANICAL	06/27/2024
21	ELECTRICAL	06/27/2024
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48	ELECTRICAL	06/27/2024
49	PLUMBING	06/27/2024
50	MECHANICAL	06/27/2024
51	ELECTRICAL	06/27/2024
52	PLUMBING	06/27/2024
53	MECHANICAL	06/27/2024
54	ELECTRICAL	06/27/2024
55	PLUMBING	06/27/2024
56	MECHANICAL	06/27/2024
57	ELECTRICAL	06/27/2024
58	PLUMBING	06/27/2024
59	MECHANICAL	06/27/2024
60	ELECTRICAL	06/27/2024
61	PLUMBING	06/27/2024
62	MECHANICAL	06/27/2024
63	ELECTRICAL	06/27/2024
64	PLUMBING	06/27/2024
65	MECHANICAL	06/27/2024
66	ELECTRICAL	06/27/2024
67	PLUMBING	06/27/2024
68	MECHANICAL	06/27/2024
69	ELECTRICAL	06/27/2024
70	PLUMBING	06/27/2024
71	MECHANICAL	06/27/2024
72	ELECTRICAL	06/27/2024
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86	MECHANICAL	06/27/2024
87	ELECTRICAL	06/27/2024
88	PLUMBING	06/27/2024
89	MECHANICAL	06/27/2024
90	ELECTRICAL	06/27/2024
91	PLUMBING	06/27/2024
92	MECHANICAL	06/27/2024
93	ELECTRICAL	06/27/2024
94	PLUMBING	06/27/2024
95	MECHANICAL	06/27/2024
96	ELECTRICAL	06/27/2024
97	PLUMBING	06/27/2024
98	MECHANICAL	06/27/2024
99	ELECTRICAL	06/27/2024
100	PLUMBING	06/27/2024



DATE: 06/27/2024
SCALE: AS SHOWN
PROJECT: PROPOSED DUPLEX
DRAWN BY: JHILGENBERG
CHECKED BY: JHILGENBERG
PROJECT LOCATION: 74-76 VALMOR STREET, WORCESTER, MA 01604
SHEET TITLE: FLOOR PLAN
SHEET NUMBER: T-1.0



LOCUS MAP



LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
<ul style="list-style-type: none"> FOUNDATION CONCRETE BRICK WOOD GLASS ROOF MECHANICAL ELECTRICAL PLUMBING 	<ul style="list-style-type: none"> FOUNDATION CONCRETE BRICK WOOD GLASS ROOF MECHANICAL ELECTRICAL PLUMBING 	<ul style="list-style-type: none"> FOUNDATION CONCRETE BRICK WOOD GLASS ROOF MECHANICAL ELECTRICAL PLUMBING

ABBREVIATIONS

SYMBOL	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD
5	GLASS
6	ROOF
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING



OWNER

OWNER'S NAME

OWNER'S ADDRESS

OWNER'S PHONE

OWNER'S FAX

OWNER'S E-MAIL

OWNER'S WEBSITE

OWNER'S CONTACT PERSON

OWNER'S CONTACT TITLE

OWNER'S CONTACT NUMBER

OWNER'S CONTACT E-MAIL

OWNER'S CONTACT ADDRESS

OWNER'S CONTACT CITY

OWNER'S CONTACT STATE

OWNER'S CONTACT ZIP

OWNER'S CONTACT COUNTRY

OWNER'S CONTACT FAX

OWNER'S CONTACT WEBSITE

OWNER'S CONTACT NOTES

OWNER'S CONTACT COMMENTS

OWNER'S CONTACT SIGNATURE

OWNER'S CONTACT DATE

GENERAL DEMOLITION NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BOSTON DEMOLITION ORDINANCE...

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES...

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES...

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AREAS...

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORIC STRUCTURES...

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL FEATURES...

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOOD CHARACTERISTICS...

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC UTILITIES...

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE UTILITIES...

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURAL MEMBERS...

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MECHANICAL SYSTEMS...

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ELECTRICAL SYSTEMS...

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLUMBING SYSTEMS...

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HEATING SYSTEMS...

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL AIR CONDITIONING SYSTEMS...

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ELEVATOR SYSTEMS...

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STAIRWAYS...

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ESCAPE ROUTES...

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EGRESS PATHS...

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AREAS...

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AREAS...

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURAL MEMBERS...

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS...

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES...

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES...

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AREAS...

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORIC STRUCTURES...

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL FEATURES...

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOOD CHARACTERISTICS...

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC UTILITIES...

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE UTILITIES...

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURAL MEMBERS...

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MECHANICAL SYSTEMS...

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ELECTRICAL SYSTEMS...

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLUMBING SYSTEMS...

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HEATING SYSTEMS...

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL AIR CONDITIONING SYSTEMS...

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ELEVATOR SYSTEMS...

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STAIRWAYS...

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ESCAPE ROUTES...

19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EGRESS PATHS...

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AREAS...

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AREAS...

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURAL MEMBERS...

6/27/2024 12:14 PM



ENGINEER'S STAMP

DATE: 06/27/2024
 TIME: 12:14 PM

PROJECT NO.: 24-00000000
 PROJECT NAME: PROPOSED FOUNDATION PLAN
 CLIENT: [REDACTED]

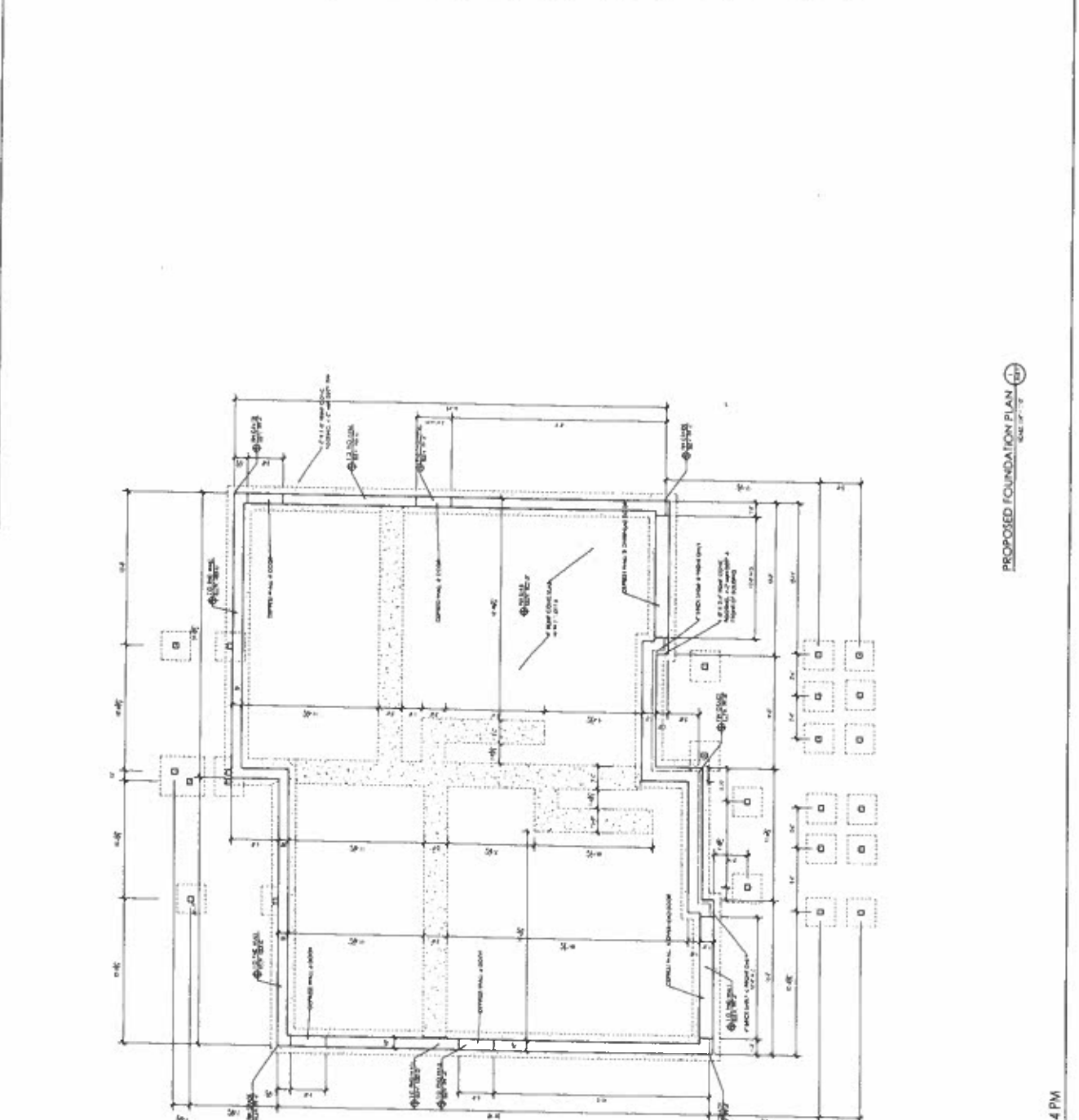
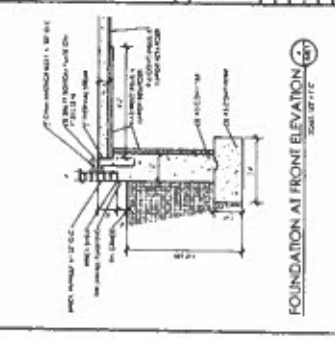
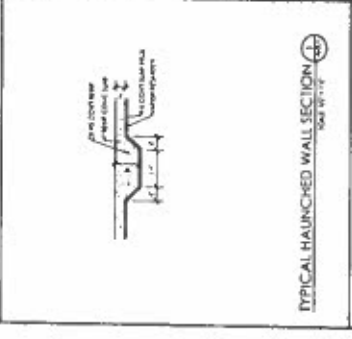
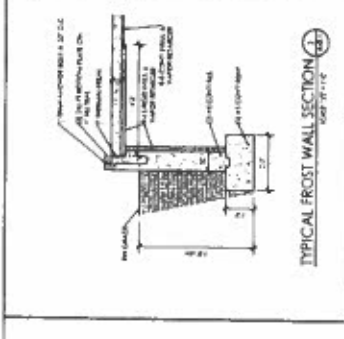
DATE: 06/27/2024
 TIME: 12:14 PM

PROJECT NO.: 24-00000000
 PROJECT NAME: PROPOSED FOUNDATION PLAN
 CLIENT: [REDACTED]

DATE: 06/27/2024
 TIME: 12:14 PM

PROJECT NO.: 24-00000000
 PROJECT NAME: PROPOSED FOUNDATION PLAN
 CLIENT: [REDACTED]

DATE: 06/27/2024
 TIME: 12:14 PM



PROPOSED FOUNDATION PLAN (4) SCALE 1/4" = 1'-0



ARCHITECT

EXHIBIT STAMP

TERRACE

PROJECT NO. 24-0000000000

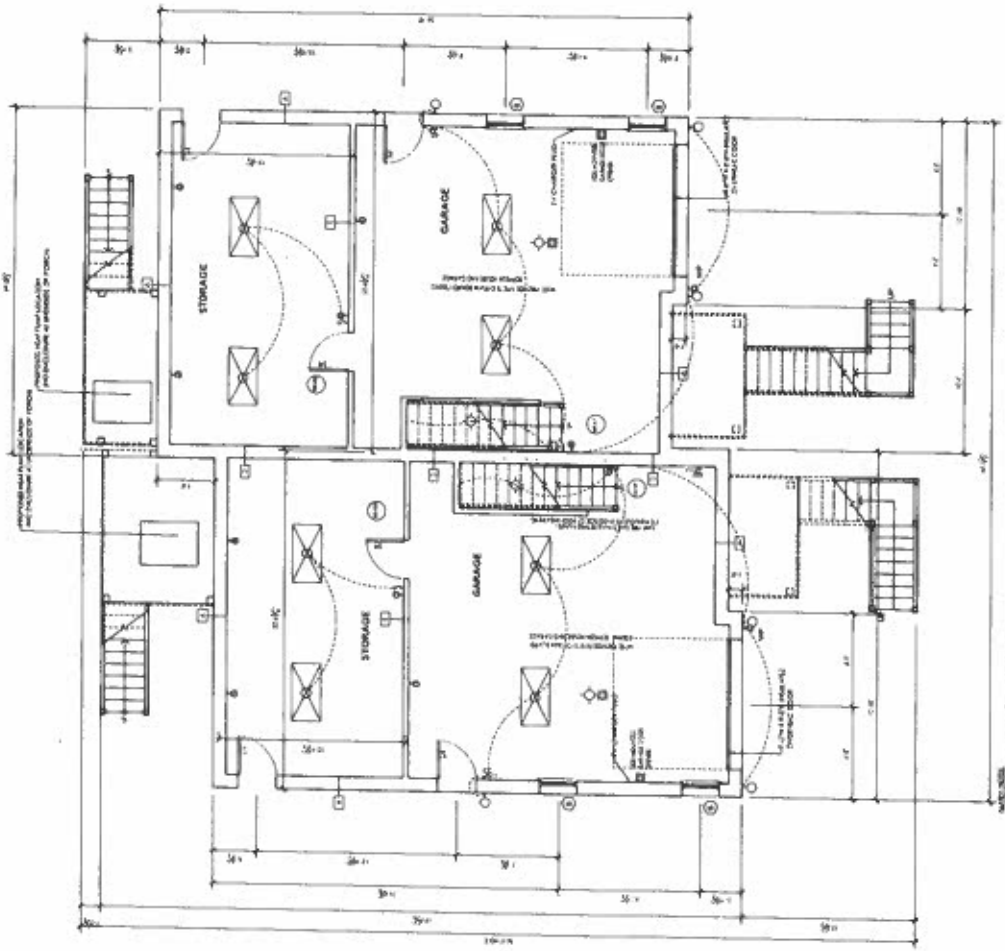
DATE: 06-13-2024

SCALE: AS SHOWN

PROJECT: PROPOSED DUPLEX

CLIENT: PROPOSED DUPLEX

A-1.0



PROPOSED BASEMENT PLAN

NOTES: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 3. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE. 4. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL. 5. ALL CEILING ARE 8" CONCRETE. 6. ALL ROOF ARE 4" CONCRETE ON 8" GRAVEL. 7. ALL STAIRS ARE 10" WIDE. 8. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYP BOARD AND PAINT. 9. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYP BOARD AND PAINT. 10. ALL STAIRS ARE TO BE FINISHED WITH 1/2" GYP BOARD AND PAINT.



ARCHITECT'S TITLE

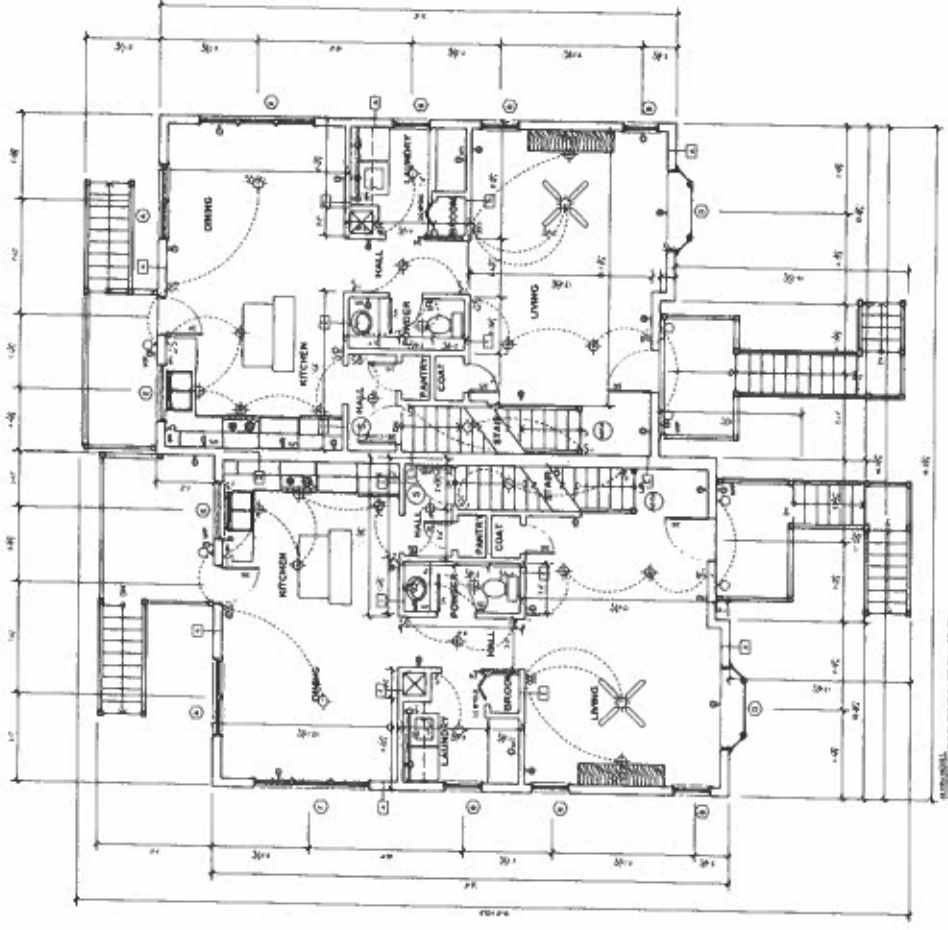
REGISTERED SEAL

CURRENT JURISDICTION

DATE	NO.	DESCRIPTION
06/27/2024	1	PROPOSED FIRST FLOOR PLAN
06/27/2024	2	REVISIONS
06/27/2024	3	REVISIONS
06/27/2024	4	REVISIONS
06/27/2024	5	REVISIONS
06/27/2024	6	REVISIONS
06/27/2024	7	REVISIONS
06/27/2024	8	REVISIONS
06/27/2024	9	REVISIONS
06/27/2024	10	REVISIONS

PROPOSED DUPLEX
 74-13 VALHALL STREET
 WORCESTER, MA 01504

A-1.1



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

REVISIONS:
 1. ADD STAIRS TO SECOND FLOOR
 2. ADD STAIRS TO FIRST FLOOR
 3. ADD STAIRS TO FIRST FLOOR
 4. ADD STAIRS TO FIRST FLOOR
 5. ADD STAIRS TO FIRST FLOOR
 6. ADD STAIRS TO FIRST FLOOR
 7. ADD STAIRS TO FIRST FLOOR
 8. ADD STAIRS TO FIRST FLOOR
 9. ADD STAIRS TO FIRST FLOOR
 10. ADD STAIRS TO FIRST FLOOR



ARCHITECTS STAMP

ENGINEER'S STAMP

GENERAL INFORMATION

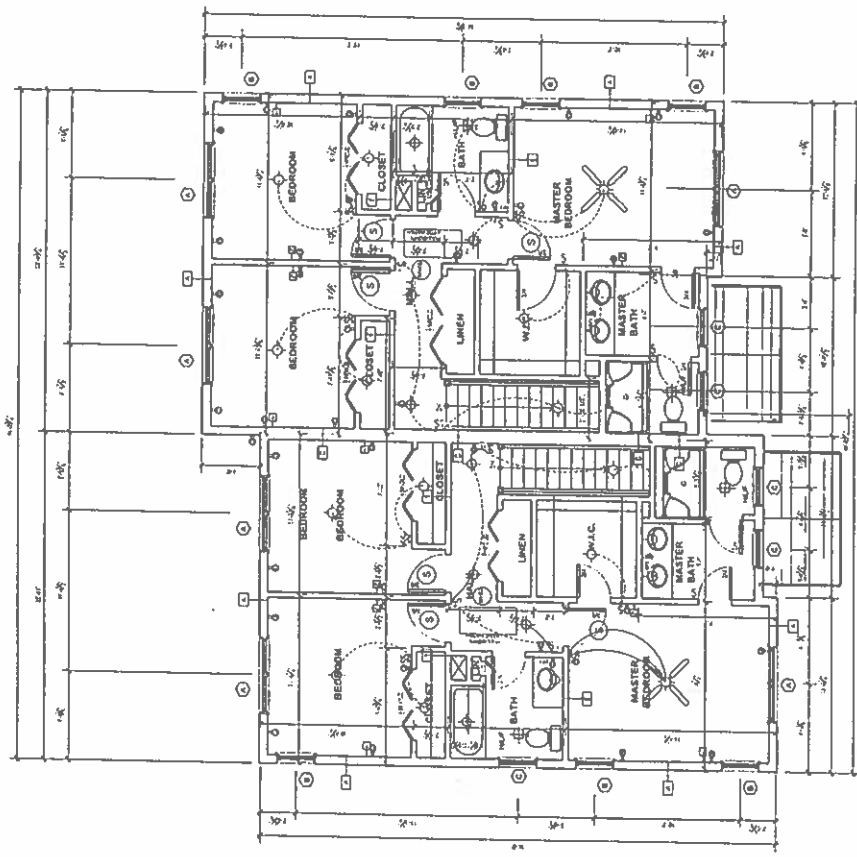
SCHEDULE
 N/A
 BIDDING ENVELOPE
 N/A
 PERMIT
 N/A
 DRAWING CONDITIONS
 N/A

DATE: 06.10.2024
 SCALE: AS SHOWN
 DRAWN BY: JAC
 CHECKED BY: JAC

PROJECT TITLE
 PROPOSED DUPLEX
 100 WASHINGTON STREET
 WORCESTER, MA 01604

SHEET TITLE
 PROPOSED SECOND FLOOR PLAN

SHEET NUMBER
 A-1.2



NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
 3. SEE MECHANICAL AND ELECTRICAL PLANS FOR SYSTEMS AND EQUIPMENT.
 4. SEE STRUCTURAL PLANS FOR FOUNDATION AND CONCRETE WORK.

PROPOSED SECOND FLOOR PLAN
 06.10.2024

ARCHITECT: **DIXON SALO ARCHITECTS**
 1475 W. WASHINGTON ST. SUITE 200
 CHICAGO, IL 60604
 TEL: 312.467.1100 FAX: 312.467.1101
 WWW.DIXONSALO.COM

PROJECT STAMP: [Professional Engineer Seal]
 ENGINEER: [Signature]
 CONTRACTOR: [Signature]
 CONTRACT NO.: [Blank]
 SHEET NO.: [Blank] OF [Blank]

LICENSE: ILLINOIS PROFESSIONAL ARCHITECT
 NO. 000000000
 EXPIRES: 06/30/2024

PROJECT: [Blank]
 DATE: 06/10/2024
 SCALE: AS SHOWN
 DRAWN BY: [Blank]
 CHECKED BY: [Blank]
 PROJECT FILE: [Blank]
 PROPOSED DUPLER: [Blank]
 PROJECT NO.: [Blank]
 PROJECT NAME: PROPOSED ROOF PLAN

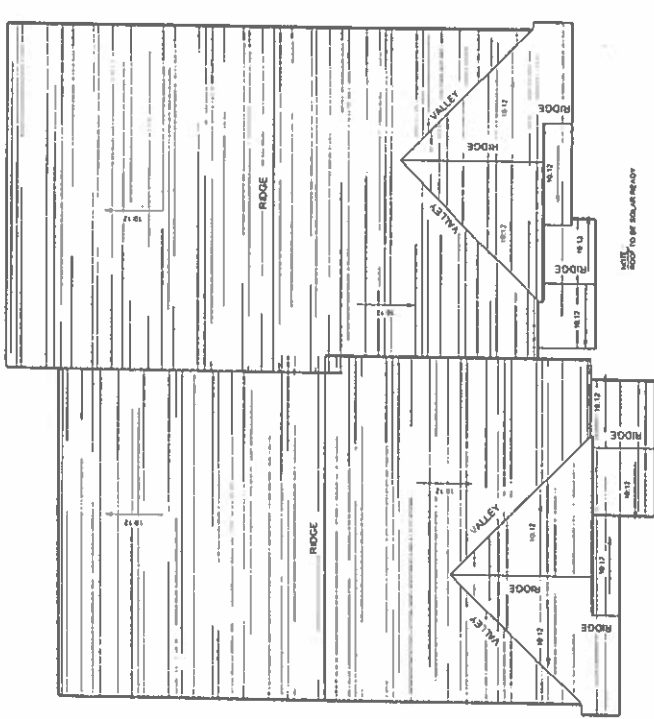
SHEET NO.: A-13

NOTE: PROVIDE PARAPETS TO FORM AS PER BUILDING CODE. MINIMUM HEIGHT OF CONCRETE PARAPET IS TO BE 18" MINUS 1". PROVIDE THE BUSINESS IN CONCRETE PARAPETS OF 2" MINIMUM HEIGHT AT INTERIORS NOT EXCEEDING 10' 0" MINIMUM HEIGHT AT EXTERIORS. PROVIDE PARAPETS WITH 1" MINIMUM SPACING BETWEEN THEM AT INTERIORS AT TOP AND BOTTOM OF RUN AT CORNERS, JOINTS, JOISTS AND OTHER VERTICAL AND HORIZONTAL CHANGES.

NOTE: PROVIDE PARAPETS WITH BUILDING TO BEAR ON LOAD BEARING WALLS. PROVIDE PARAPETS WITH 1" MINIMUM SPACING BETWEEN THEM AT INTERIORS AT TOP AND BOTTOM OF RUN AT CORNERS, JOINTS, JOISTS AND OTHER VERTICAL AND HORIZONTAL CHANGES.

NOTE: PROVIDE PARAPETS WITH BUILDING TO BEAR ON LOAD BEARING WALLS. PROVIDE PARAPETS WITH 1" MINIMUM SPACING BETWEEN THEM AT INTERIORS AT TOP AND BOTTOM OF RUN AT CORNERS, JOINTS, JOISTS AND OTHER VERTICAL AND HORIZONTAL CHANGES.

NOTE: PROVIDE PARAPETS WITH BUILDING TO BEAR ON LOAD BEARING WALLS. PROVIDE PARAPETS WITH 1" MINIMUM SPACING BETWEEN THEM AT INTERIORS AT TOP AND BOTTOM OF RUN AT CORNERS, JOINTS, JOISTS AND OTHER VERTICAL AND HORIZONTAL CHANGES.



PROPOSED ROOF PLAN
 6/27/2024 12:14 PM

ACAD: 11/23/2024 11:23:24 AM
 DIXON SALO ARCHITECTS
 100 STATE STREET
 WORCESTER, MA 01608
 TEL: 508-853-1100
 FAX: 508-853-1101
 WWW.DIXONSALO.COM



PROJECT NAME:
 ENGINEER:
 PROJECT STAMP:
 GENERAL INFORMATION:

DATE: 06/18/2024
 PROJECT: 24-0000
 DRAWING: 01
 SHEET: 01
 REVISION DATE:

SCHEMATIC: N/A
 DESIGN DEVELOPMENT: N/A
 PERMIT: 24-0000
 EXISTING CONDITIONS

PROJECT TITLE:
 PROPOSED DUPLEX
 100 STATE STREET
 WORCESTER, MA 01608

HEET TITLE:
 PROPOSED FIRST FLOOR FRAMING PLAN

HEET NUMBER:
A-2.1

600 Location

Item	Quantity	Unit	Price	Total
600	1	sq ft	100.00	100.00
601	1	sq ft	100.00	100.00
602	1	sq ft	100.00	100.00
603	1	sq ft	100.00	100.00
604	1	sq ft	100.00	100.00
605	1	sq ft	100.00	100.00
606	1	sq ft	100.00	100.00
607	1	sq ft	100.00	100.00
608	1	sq ft	100.00	100.00
609	1	sq ft	100.00	100.00
610	1	sq ft	100.00	100.00
611	1	sq ft	100.00	100.00
612	1	sq ft	100.00	100.00
613	1	sq ft	100.00	100.00
614	1	sq ft	100.00	100.00
615	1	sq ft	100.00	100.00
616	1	sq ft	100.00	100.00
617	1	sq ft	100.00	100.00
618	1	sq ft	100.00	100.00
619	1	sq ft	100.00	100.00
620	1	sq ft	100.00	100.00
621	1	sq ft	100.00	100.00
622	1	sq ft	100.00	100.00
623	1	sq ft	100.00	100.00
624	1	sq ft	100.00	100.00
625	1	sq ft	100.00	100.00
626	1	sq ft	100.00	100.00
627	1	sq ft	100.00	100.00
628	1	sq ft	100.00	100.00
629	1	sq ft	100.00	100.00
630	1	sq ft	100.00	100.00
631	1	sq ft	100.00	100.00
632	1	sq ft	100.00	100.00
633	1	sq ft	100.00	100.00
634	1	sq ft	100.00	100.00
635	1	sq ft	100.00	100.00
636	1	sq ft	100.00	100.00
637	1	sq ft	100.00	100.00
638	1	sq ft	100.00	100.00
639	1	sq ft	100.00	100.00
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662	1	sq ft	100.00	100.00
663	1	sq ft	100.00	100.00
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666	1	sq ft	100.00	100.00
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668	1	sq ft	100.00	100.00
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670	1	sq ft	100.00	100.00
671	1	sq ft	100.00	100.00
672	1	sq ft	100.00	100.00
673	1	sq ft	100.00	100.00
674	1	sq ft	100.00	100.00
675	1	sq ft	100.00	100.00
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683	1	sq ft	100.00	100.00
684	1	sq ft	100.00	100.00
685	1	sq ft	100.00	100.00
686	1	sq ft	100.00	100.00
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690	1	sq ft	100.00	100.00
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693	1	sq ft	100.00	100.00
694	1	sq ft	100.00	100.00
695	1	sq ft	100.00	100.00
696	1	sq ft	100.00	100.00
697	1	sq ft	100.00	100.00
698	1	sq ft	100.00	100.00
699	1	sq ft	100.00	100.00
700	1	sq ft	100.00	100.00

1-400 Line Lead Deflection

Line	Lead Deflection (inches)	Lead Deflection (inches)	Lead Deflection (inches)
1-400	1.00	1.00	1.00
1-401	1.00	1.00	1.00
1-402	1.00	1.00	1.00
1-403	1.00	1.00	1.00
1-404	1.00	1.00	1.00
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1-406	1.00	1.00	1.00
1-407	1.00	1.00	1.00
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1-420	1.00	1.00	1.00
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1-423	1.00	1.00	1.00
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1-425	1.00	1.00	1.00
1-426	1.00	1.00	1.00
1-427	1.00	1.00	1.00
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1-433	1.00	1.00	1.00
1-434	1.00	1.00	1.00
1-435	1.00	1.00	1.00
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1-437	1.00	1.00	1.00
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1-440	1.00	1.00	1.00
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1-445	1.00	1.00	1.00
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1-447	1.00	1.00	1.00
1-448	1.00	1.00	1.00
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1-453	1.00	1.00	1.00
1-454	1.00	1.00	1.00
1-455	1.00	1.00	1.00
1-456	1.00	1.00	1.00
1-457	1.00	1.00	1.00
1-458	1.00	1.00	1.00
1-459	1.00	1.00	1.00
1-460	1.00	1.00	1.00
1-461	1.00	1.00	1.00
1-462	1.00	1.00	1.00
1-463	1.00	1.00	1.00
1-464	1.00	1.00	1.00
1-465	1.00	1.00	1.00
1-466	1.00	1.00	1.00
1-467	1.00	1.00	1.00
1-468	1.00	1.00	1.00
1-469	1.00	1.00	1.00
1-470	1.00	1.00	1.00
1-471	1.00	1.00	1.00
1-472	1.00	1.00	1.00
1-473	1.00	1.00	1.00
1-474	1.00	1.00	1.00
1-475	1.00	1.00	1.00
1-476	1.00	1.00	1.00
1-477	1.00	1.00	1.00
1-478	1.00	1.00	1.00
1-479	1.00	1.00	1.00
1-480	1.00	1.00	1.00
1-481	1.00	1.00	1.00
1-482	1.00	1.00	1.00
1-483	1.00	1.00	1.00
1-484	1.00	1.00	1.00
1-485	1.00	1.00	1.00
1-486	1.00	1.00	1.00
1-487	1.00	1.00	1.00
1-488	1.00	1.00	1.00
1-489	1.00	1.00	1.00
1-490	1.00	1.00	1.00
1-491	1.00	1.00	1.00
1-492	1.00	1.00	1.00
1-493	1.00	1.00	1.00
1-494	1.00	1.00	1.00
1-495	1.00	1.00	1.00
1-496	1.00	1.00	1.00
1-497	1.00	1.00	1.00
1-498	1.00	1.00	1.00
1-499	1.00	1.00	1.00
1-500	1.00	1.00	1.00

1-500 Line Lead Deflection

Line	Lead Deflection (inches)	Lead Deflection (inches)	Lead Deflection (inches)
1-500	1.00	1.00	1.00
1-501	1.00	1.00	1.00
1-502	1.00	1.00	1.00
1-503	1.00	1.00	1.00
1-504	1.00	1.00	1.00
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1-506	1.00	1.00	1.00
1-507	1.00	1.00	1.00
1-508	1.00	1.00	1.00
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1-510	1.00	1.00	1.00
1-511	1.00	1.00	1.00
1-512	1.00	1.00	1.00
1-513	1.00	1.00	1.00
1-514	1.00	1.00	1.00
1-515	1.00	1.00	1.00
1-516	1.00	1.00	1.00
1-517	1.00	1.00	1.00
1-518	1.00	1.00	1.00
1-519	1.00	1.00	1.00
1-520	1.00	1.00	1.00
1-521	1.00	1.00	1.00
1-522	1.00	1.00	1.00
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1-524	1.00	1.00	1.00
1-525	1.00	1.00	1.00
1-526	1.00	1.00	1.00
1-527	1.00	1.00	1.00
1-528	1.00	1.00	1.00
1-529	1.00	1.00	1.00
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1-531	1.00	1.00	1.00
1-532	1.00	1.00	1.00
1-533	1.00	1.00	1.00
1-534	1.00	1.00	1.00
1-535	1.00	1.00	1.00
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1-538	1.00	1.00	1.00
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1-540	1.00	1.00	1.



ARCHITECT
 ENGINEER
 CONSULTING ENGINEER

PROJECT INFORMATION

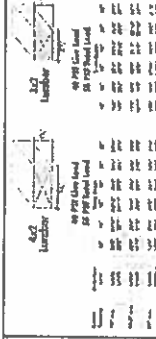
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 DRAWING: [REDACTED]
 SHEET: [REDACTED]
 SHEET TITLE: PROPOSED SECOND FLOOR FRAMING PLAN

CONTRACTOR: [REDACTED]
 DESIGNER: [REDACTED]
 CHECKER: [REDACTED]
 DATE: [REDACTED]

PROJECT: [REDACTED]
 DRAWING: [REDACTED]
 SHEET: [REDACTED]
 SHEET TITLE: PROPOSED SECOND FLOOR FRAMING PLAN

PROPOSED DUPLEX
 74-76 VALUATOR STREET
 WOODBRIDGE, MA 01969

SHEET NUMBER
A-2.2



LOADS (See Load Definition)

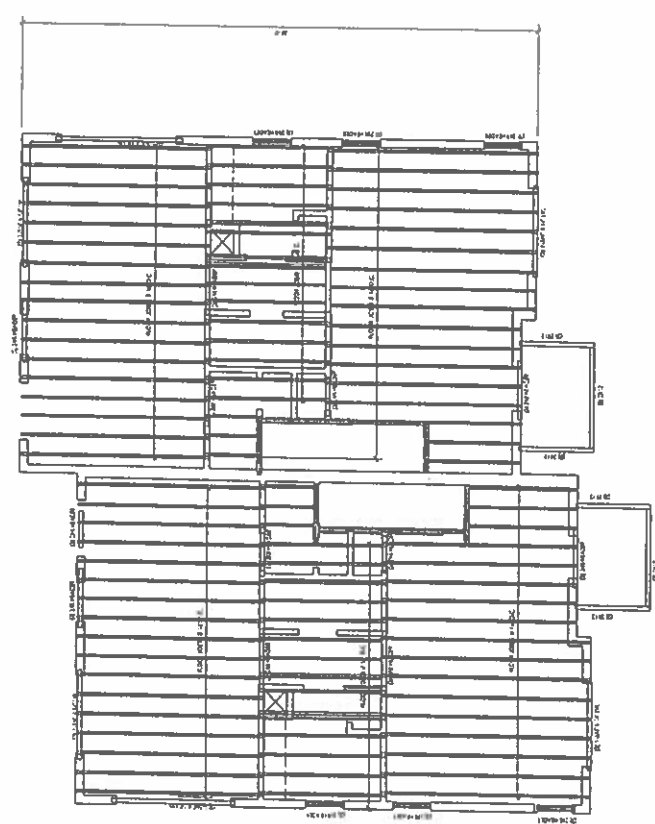
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102	10	20	15	0.1
103	10	20	15	0.1
104	10	20	15	0.1
105	10	20	15	0.1
106	10	20	15	0.1
107	10	20	15	0.1
108	10	20	15	0.1
109	10	20	15	0.1
110	10	20	15	0.1
111	10	20	15	0.1
112	10	20	15	0.1
113	10	20	15	0.1
114	10	20	15	0.1
115	10	20	15	0.1
116	10	20	15	0.1
117	10	20	15	0.1
118	10	20	15	0.1
119	10	20	15	0.1
120	10	20	15	0.1

LOADS (See Load Definition)

Room	Dead	Live	Wind	Seismic
101	10	20	15	0.1
102	10	20	15	0.1
103	10	20	15	0.1
104	10	20	15	0.1
105	10	20	15	0.1
106	10	20	15	0.1
107	10	20	15	0.1
108	10	20	15	0.1
109	10	20	15	0.1
110	10	20	15	0.1
111	10	20	15	0.1
112	10	20	15	0.1
113	10	20	15	0.1
114	10	20	15	0.1
115	10	20	15	0.1
116	10	20	15	0.1
117	10	20	15	0.1
118	10	20	15	0.1
119	10	20	15	0.1
120	10	20	15	0.1

LOADS (See Load Definition)

Room	Dead	Live	Wind	Seismic
101	10	20	15	0.1
102	10	20	15	0.1
103	10	20	15	0.1
104	10	20	15	0.1
105	10	20	15	0.1
106	10	20	15	0.1
107	10	20	15	0.1
108	10	20	15	0.1
109	10	20	15	0.1
110	10	20	15	0.1
111	10	20	15	0.1
112	10	20	15	0.1
113	10	20	15	0.1
114	10	20	15	0.1
115	10	20	15	0.1
116	10	20	15	0.1
117	10	20	15	0.1
118	10	20	15	0.1
119	10	20	15	0.1
120	10	20	15	0.1



PROPOSED SECOND FLOOR FRAMING PLAN
 SCALE: 1/8" = 1'-0"

PROPOSED ROOF FRAMING PLAN

DIXON SALO ARCHITECTS

REGISTERED ARCHITECTS

100 SOUTH MAIN STREET, SUITE 200
WORCESTER, MASSACHUSETTS 01608
PHONE: (508) 854-1100
WWW.DIXONSALO.COM

ARCHITECT'S STAMP

ENGINEER'S STAMP

SPECIAL INFORMATION:

PROJECT NO.: 2024-001

DATE: 06/27/2024

SCALE: AS SHOWN

DESIGNER: DS

CHECKED: DS

PROJECT INTENT: PROPOSED DUPLEX

PROJECT ADDRESS: 100 SOUTH MAIN STREET, WORCESTER, MA 01608

SHEET TITLE: PROPOSED ROOF FRAMING PLAN

SHEET NUMBER: A-2.3

457 Lumber

Spec	Qty	Material	Notes
457.1	1	2x10 Lumber	48 PS Lumber Lead
457.2	1	2x12 Lumber	52 PS Lumber Lead
457.3	1	2x8 Lumber	36 PS Lumber Lead
457.4	1	2x6 Lumber	24 PS Lumber Lead

462 Lumber

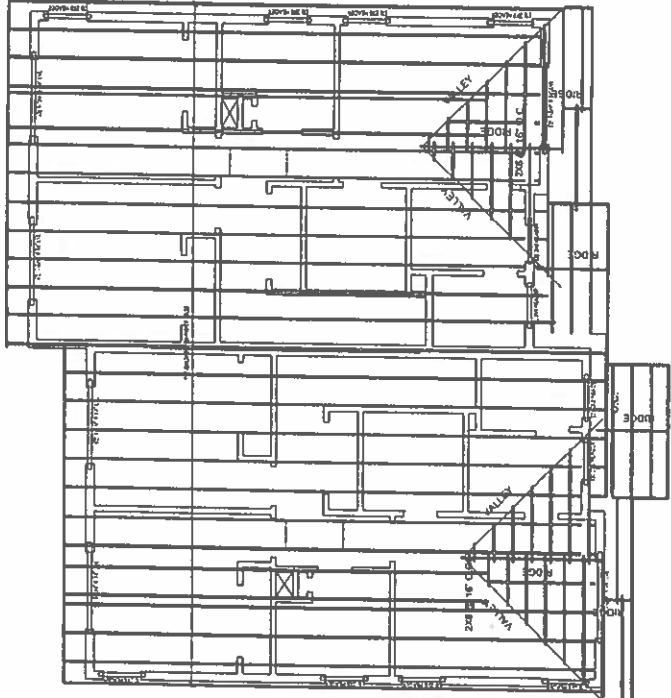
Spec	Qty	Material	Notes
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462.2	1	2x12 Lumber	52 PS Lumber Lead
462.3	1	2x8 Lumber	36 PS Lumber Lead
462.4	1	2x6 Lumber	24 PS Lumber Lead

L480 Lumber Lead Dislocation

ID	Spec	Qty	Material	Notes
1	L480.1	1	2x10 Lumber	48 PS Lumber Lead
2	L480.2	1	2x12 Lumber	52 PS Lumber Lead
3	L480.3	1	2x8 Lumber	36 PS Lumber Lead
4	L480.4	1	2x6 Lumber	24 PS Lumber Lead
5	L480.5	1	2x10 Lumber	48 PS Lumber Lead
6	L480.6	1	2x12 Lumber	52 PS Lumber Lead
7	L480.7	1	2x8 Lumber	36 PS Lumber Lead
8	L480.8	1	2x6 Lumber	24 PS Lumber Lead
9	L480.9	1	2x10 Lumber	48 PS Lumber Lead
10	L480.10	1	2x12 Lumber	52 PS Lumber Lead

L480 Lumber Lead Dislocation Offset (see Table)

ID	Spec	Qty	Material	Notes
1	L480.1	1	2x10 Lumber	48 PS Lumber Lead
2	L480.2	1	2x12 Lumber	52 PS Lumber Lead
3	L480.3	1	2x8 Lumber	36 PS Lumber Lead
4	L480.4	1	2x6 Lumber	24 PS Lumber Lead
5	L480.5	1	2x10 Lumber	48 PS Lumber Lead
6	L480.6	1	2x12 Lumber	52 PS Lumber Lead
7	L480.7	1	2x8 Lumber	36 PS Lumber Lead
8	L480.8	1	2x6 Lumber	24 PS Lumber Lead
9	L480.9	1	2x10 Lumber	48 PS Lumber Lead
10	L480.10	1	2x12 Lumber	52 PS Lumber Lead



PROPOSED ROOF FRAMING PLAN

ARCHITECT:
DIXON SALO ARCHITECTS
 100 STATE STREET, SUITE 200
 WORCESTER, MA 01602
 TEL: 508.853.1111 FAX: 508.853.1112
 WWW.DIXONSALO.COM



PROJECT:
 DRAWING NO.:

DATE:
 DRAWN BY:
 CHECKED BY:

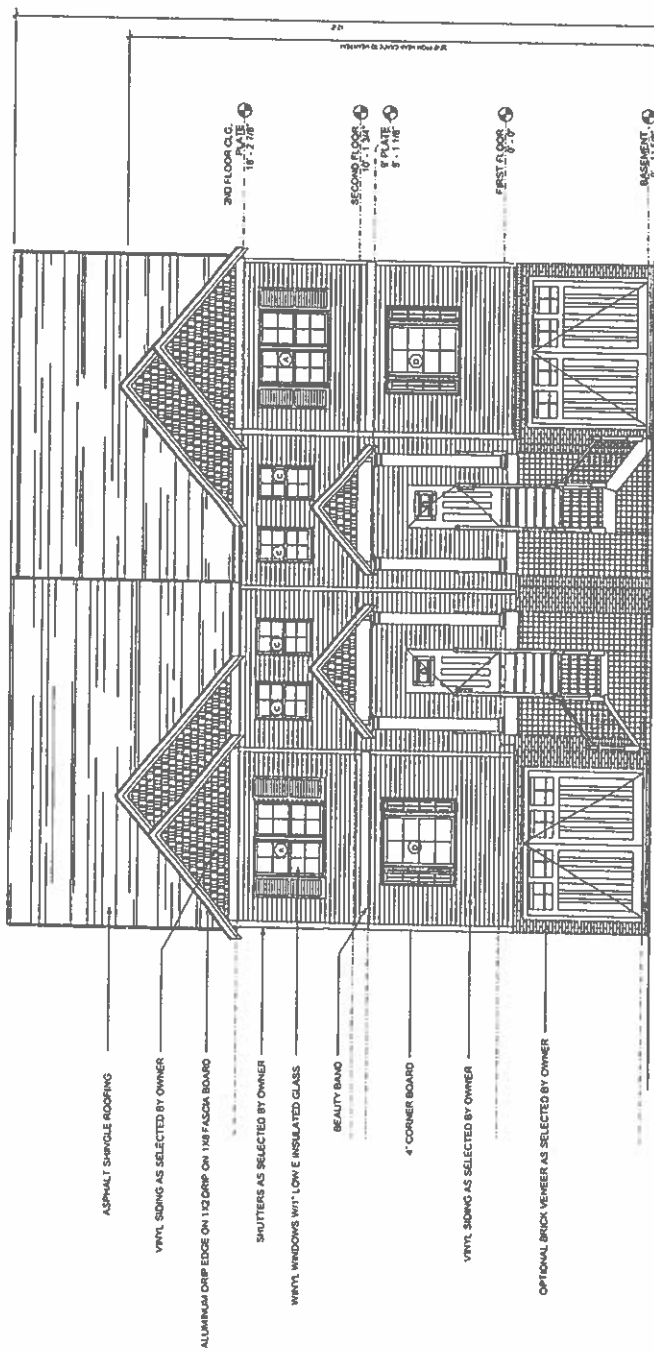
GENERAL INFORMATION:
 PROJECT NO.:

DATE: 06.10.2024
 LOCAL: AS NOTED
 PROJECT:
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:

PROPOSED DUPLEX
 74-76 VALUOR STREET
 WORCESTER, MA 01604

DATE: 06.10.2024
 LOCAL: AS NOTED
 PROJECT:
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:

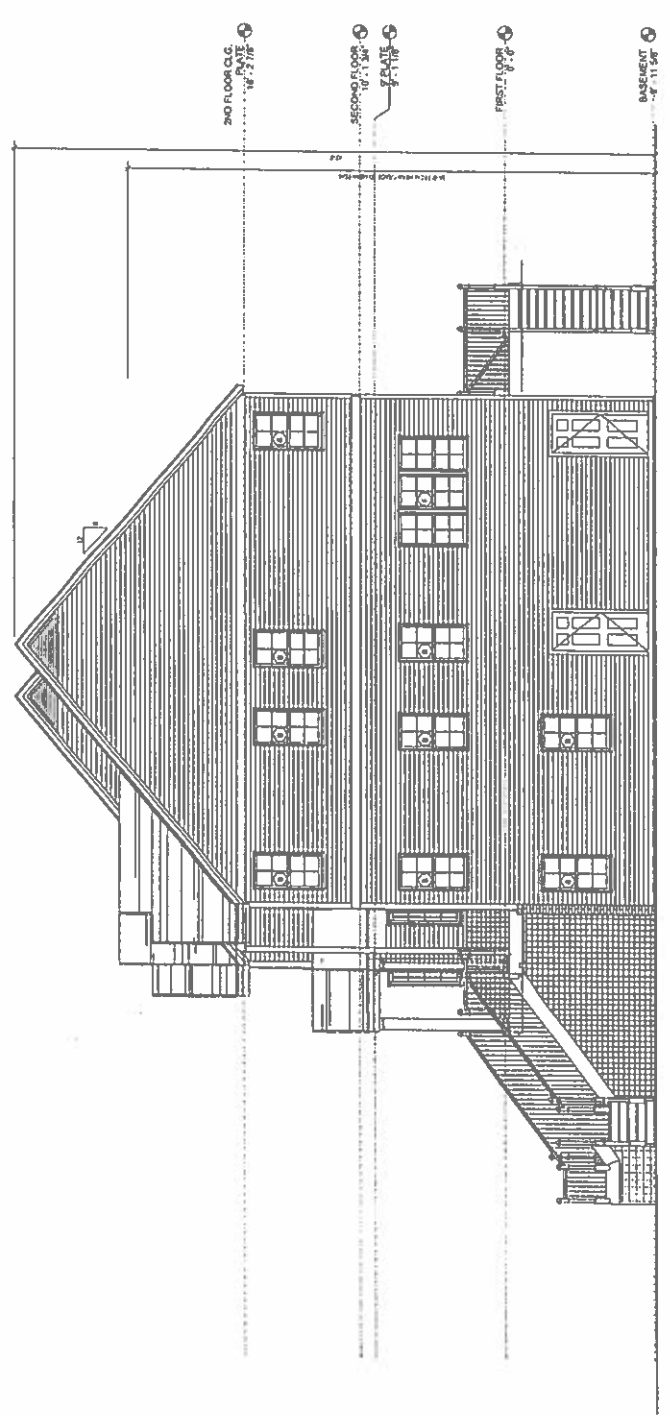
PROPOSED FRONT BUILDING ELEVATION
 SHEET NUMBER: **A-3.1**



- ASPHALT SHINGLE ROOFING
- VINYL SIDING AS SELECTED BY OWNER
- ALUMINUM Drip EDGE ON 1/2" DRIP ON 1x6 FASCIA BOARD
- SHUTTERS AS SELECTED BY OWNER
- VINYL WINDOWS WITH LOW-E INSULATED GLASS
- BEAUTY BAND
- 4" CORNER BOARD
- VINYL SIDING AS SELECTED BY OWNER
- OPTIONAL BRICK VENEER AS SELECTED BY OWNER

PROPOSED FRONT BUILDING ELEVATION
 6-10-24 V.1.0

 <p> DIXON SALO ARCHITECTS ARCHITECTS 100 STATE STREET WOXCESTER, MA 01604 TEL: 508.853.1100 FAX: 508.853.1101 WWW.DIXONSALO.COM </p>		PROJECT:	DRAWING:	DATE:	SCALE:	SHEET:	PROJECT:	DRAWING:	DATE:	SCALE:	SHEET:
ARCHITECT'S STAMP		DESIGNER'S STAMP		GENERAL INFORMATION		PROJECT TITLE PROPOSED DUPLEX 100 STATE STREET WOXCESTER, MA 01604		SHEET TITLE PROPOSED RIGHT SIDE BUILDING ELEVATION		SHEET NUMBER A-3.2	



PROPOSED RIGHT SIDE BUILDING ELEVATION
 SCALE: 1/8" = 1'-0"



DRAWN BY: _____
CHECKED BY: _____

PROJECT NAME: _____

GENERAL INFORMATION: _____

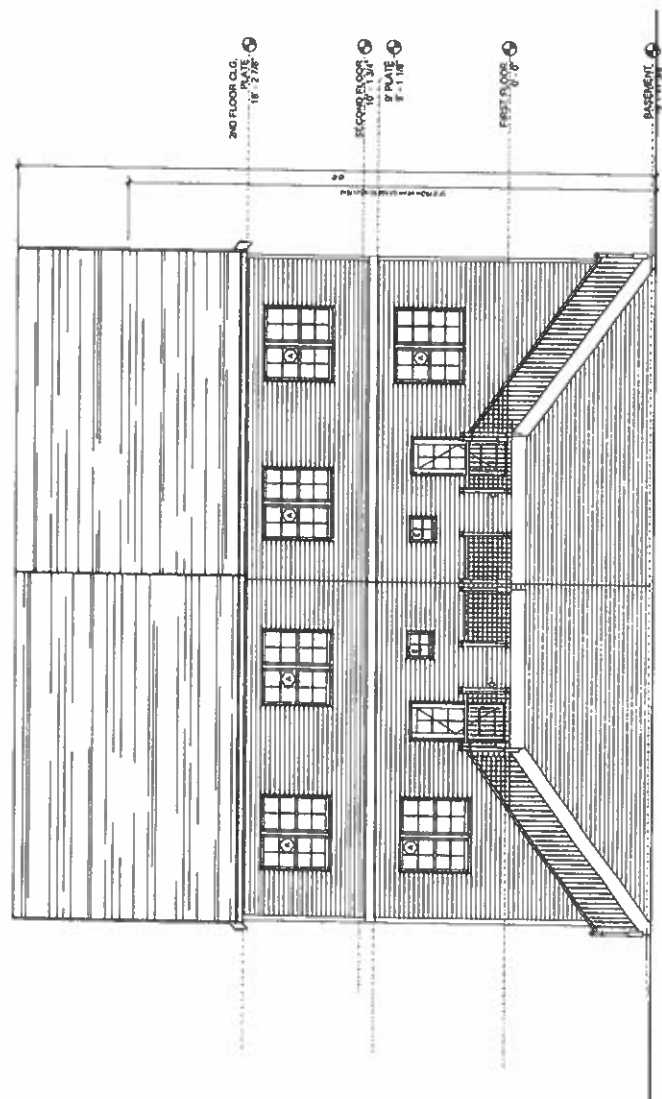
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DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____

PROJECT TITLE:
PROPOSED DUPLEX
1234 MAIN STREET
WORCESTER, MA 01604

SHEET NUMBER:
PROPOSED REAR BUILDING ELEVATION

A-3.3



PROPOSED REAR BUILDING ELEVATION
SCALE: 1/8\"/>



TITLE:

DATE:

GENERAL CONTRACTOR:

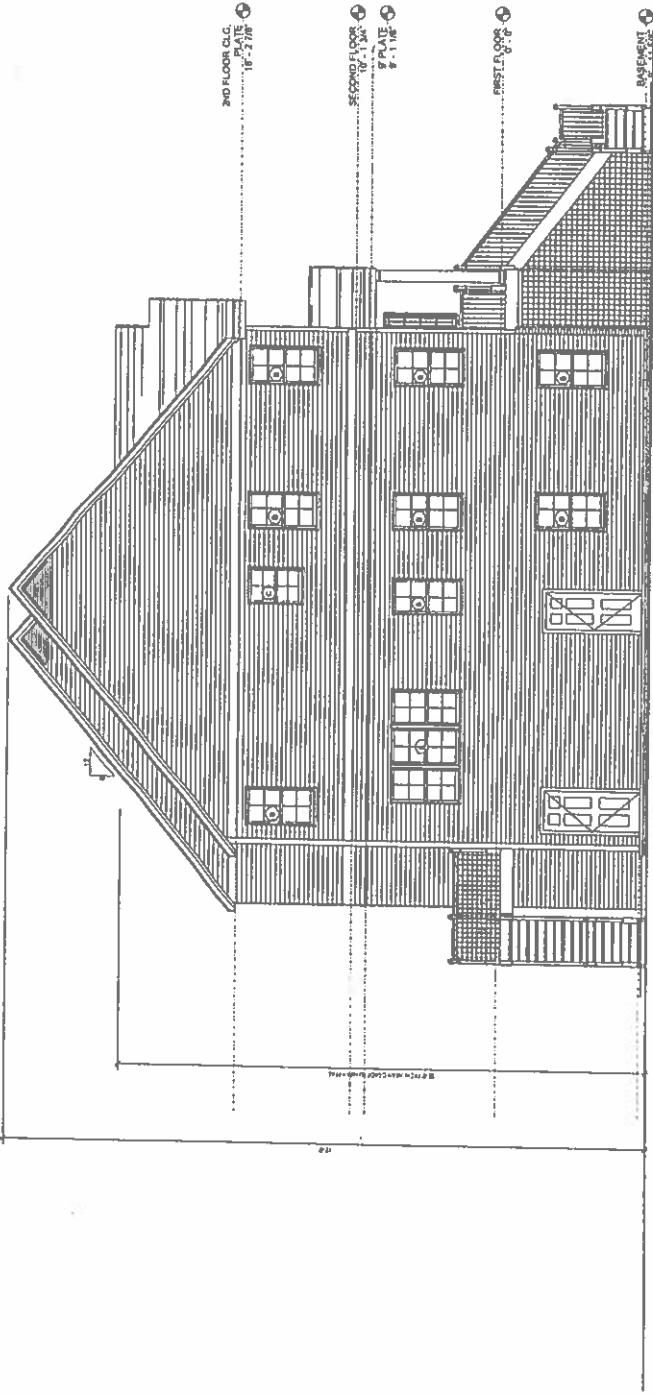
DATE: 06.10.2024
SCALE: AS SHOWN
DRAWN: JSH
CHECKED: JSH
PROJECT: PROPOSED DUPLEX
74-76 WALTON STREET
WORCESTER, MA 01404

DATE: 06.10.2024
SCALE: AS SHOWN
DRAWN: JSH
CHECKED: JSH
PROJECT: PROPOSED DUPLEX
74-76 WALTON STREET
WORCESTER, MA 01404

DATE: 06.10.2024
SCALE: AS SHOWN
DRAWN: JSH
CHECKED: JSH
PROJECT: PROPOSED DUPLEX
74-76 WALTON STREET
WORCESTER, MA 01404

DATE: 06.10.2024
SCALE: AS SHOWN
DRAWN: JSH
CHECKED: JSH
PROJECT: PROPOSED DUPLEX
74-76 WALTON STREET
WORCESTER, MA 01404

A-3.4



PROPOSED LEFT SIDE BUILDING ELEVATION 1/12

DIXON SALO ARCHITECTS
ARCHITECTS



PROJECT: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____

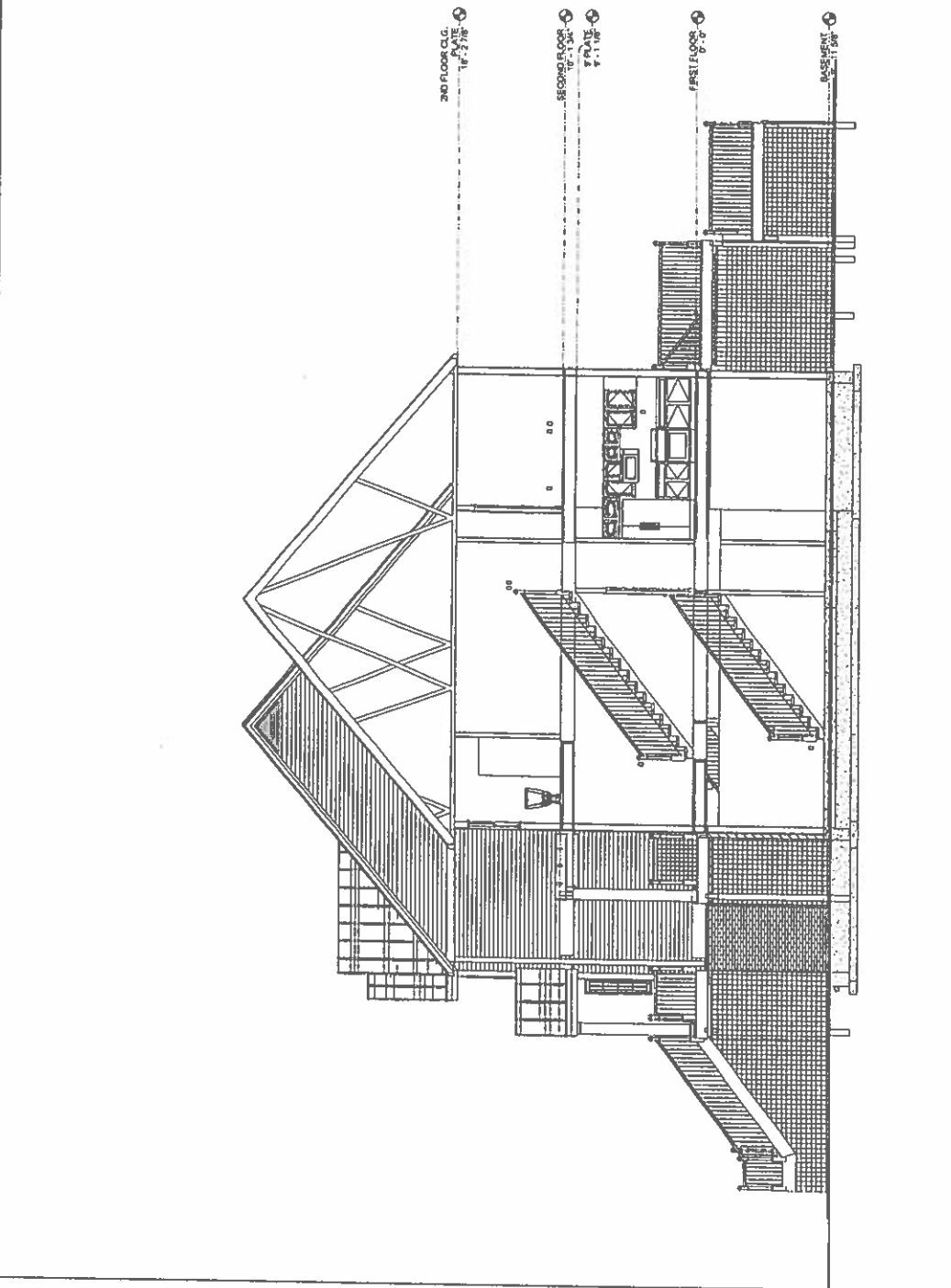
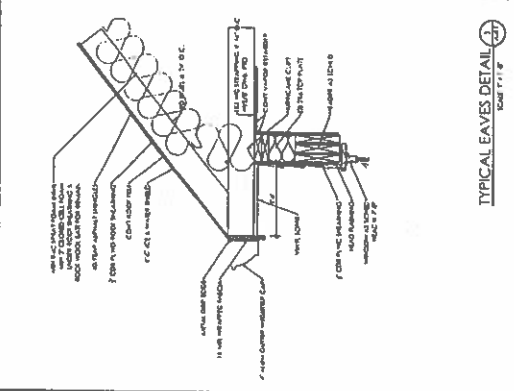
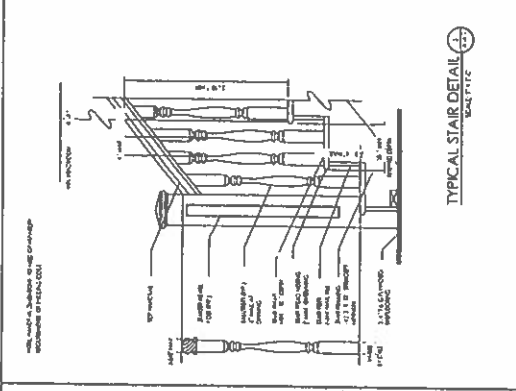
OWNER'S NAME: _____
ADDRESS: _____
CITY: _____

CONTRACT NO.: _____
DATE OF CONTRACT: _____
DATE OF ISSUE: _____
DATE OF REVISION: _____

SCALE: AS SHOWN
PROJECT: _____
DRAWING NO.: _____
DATE: _____

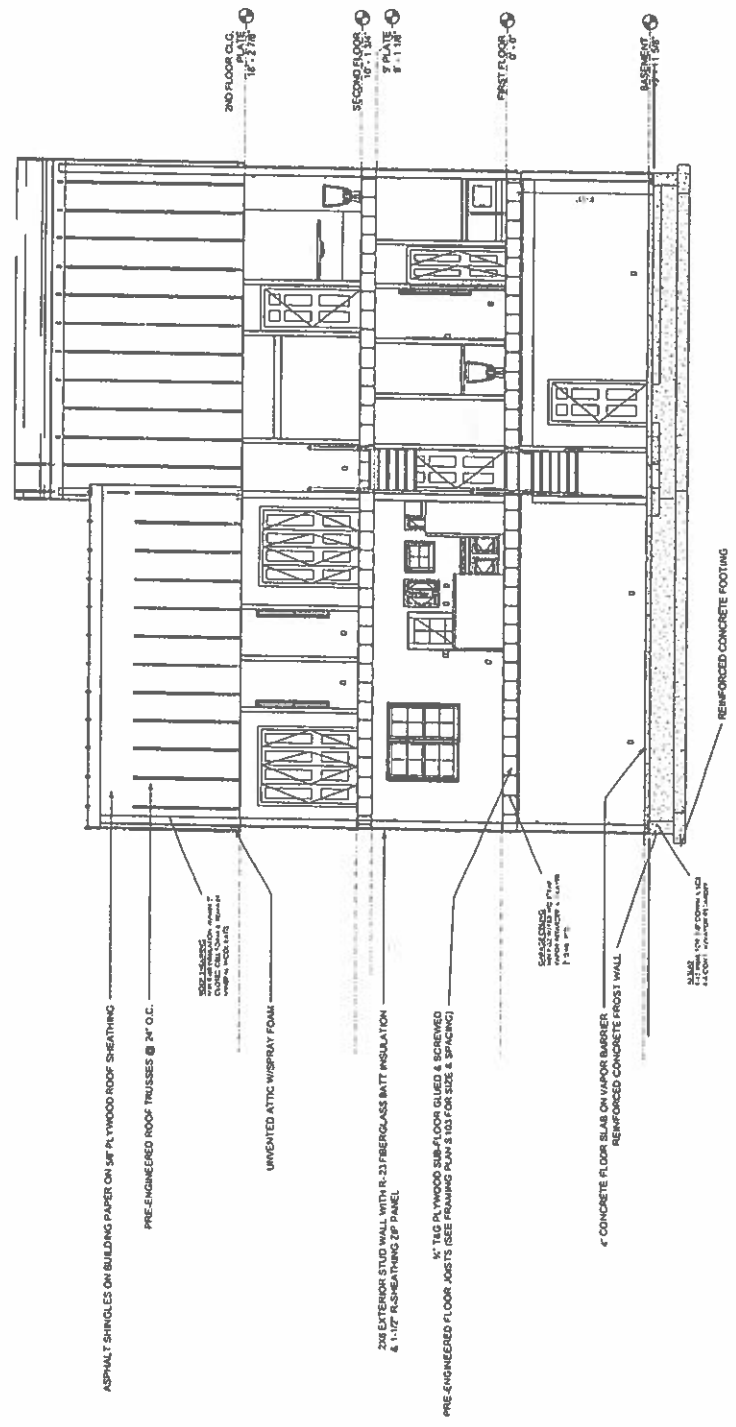
PROJECT TITLE: _____
PROPOSED DUPLEX: _____
74.75 VALMOR STREET
ROXBURY, MA 02119

SHEET NUMBER: _____
A-4.1



PROPOSED BUILDING SECTION
SCALE 1/8" = 1'-0"

 <p>DIXON SALO ARCHITECTS 1111 W. UNIVERSITY BLVD SUITE 100 HOUSTON, TX 77002 TEL: 713.264.1111 FAX: 713.264.1112 WWW.DIXONSALO.COM</p>	 <p>PROJECT STAMP</p>	<p>DATE: 06.10.2024</p> <p>SCALE: AS NOTED</p> <p>PROJECT: [REDACTED]</p> <p>OWNER: [REDACTED]</p> <p>DESIGNER: [REDACTED]</p> <p>PROJ. NO.: [REDACTED]</p> <p>PROJ. FILE: [REDACTED]</p> <p>PROPOSED DUPLEX 7-1/2 VALMORE STREET HOUSTON, TX 77004</p> <p>SHEET TITLE: PROPOSED BUILDING SECTION</p>	<p>DATE: 06.10.2024</p> <p>SCALE: AS NOTED</p> <p>PROJECT: [REDACTED]</p> <p>OWNER: [REDACTED]</p> <p>DESIGNER: [REDACTED]</p> <p>PROJ. NO.: [REDACTED]</p> <p>PROJ. FILE: [REDACTED]</p> <p>PROPOSED DUPLEX 7-1/2 VALMORE STREET HOUSTON, TX 77004</p> <p>SHEET TITLE: PROPOSED BUILDING SECTION</p>
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PROJECT NAME
PROJECT NUMBER

ENGINEER'S NAME
DATE

GENERAL CONTRACTOR

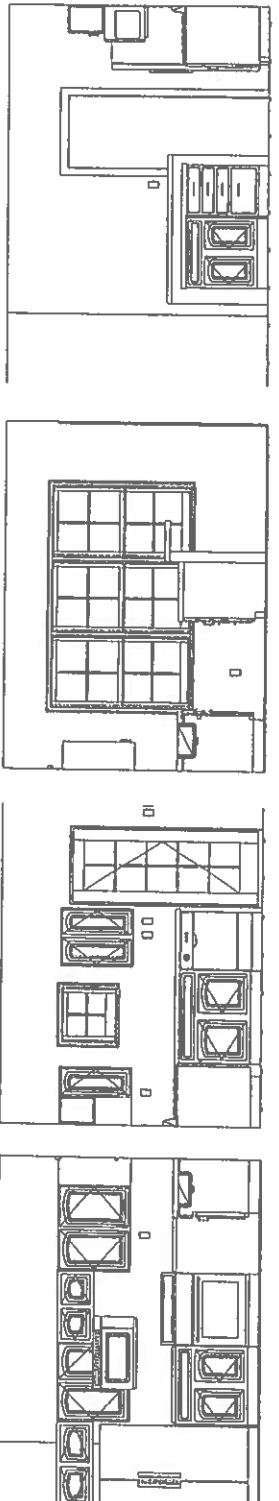
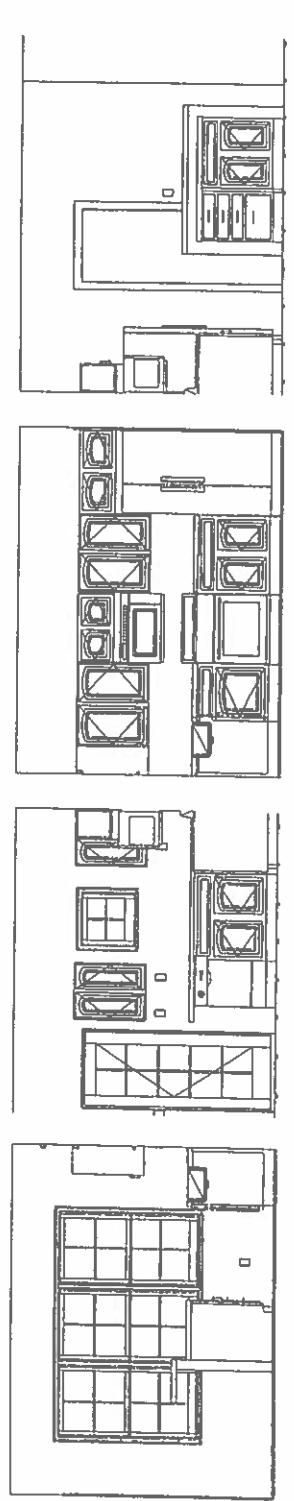
NO. 101234
DATE 06/10/2018
STATE OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER

DATE 06/10/2024
SCALE AS SHOWN
PROJECT
DRAWN BY JCH
CHECKED BY

PROPOSED DUPLEX
7A-7B VALUOR STREET
WORCESTER, MA 01404

DATE 06/10/2024
SCALE AS SHOWN
PROJECT
DRAWN BY JCH
CHECKED BY

PROPOSED INTERIOR ELEVATIONS



PROPOSED KITCHEN INTERIOR ELEVATIONS (1)

SCALE 1/8" = 1'-0"

ARCHITECT:
 DIXON SALO ARCHITECTS
 74-74 VALUOR STREET
 WORCESTER, MA 01604
 PHONE: 508-853-1111
 FAX: 508-853-1112
 WWW.DIXONSALO.COM



PROJECTS STAMP

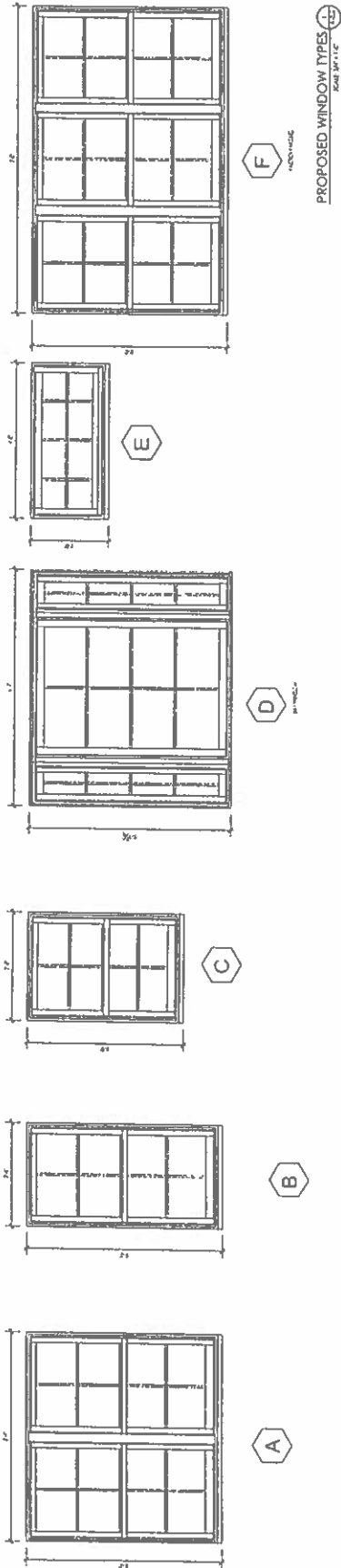
REGISTERED ARCHITECT

GENERAL INFORMATION

DATE: 06/27/2024
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 DRAWN: JDM
 CHECKED: JDM
 74-74 VALUOR STREET
 WORCESTER, MA 01604

DATE: 06/27/2024
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 DRAWN: JDM
 CHECKED: JDM
 74-74 VALUOR STREET
 WORCESTER, MA 01604

DATE: 06/27/2024
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 DRAWN: JDM
 CHECKED: JDM
 74-74 VALUOR STREET
 WORCESTER, MA 01604





2024 00020284

Bk: 70308 Pg: 289

Page: 1 of 5 03/21/2024 01:39 PM W/D

City of Worcester, MA

February 15, 2024

I certify that twenty days have elapsed after the attached Decision for **24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 6A, Lot 6B** has been filed with the City Clerk Department as of **January 9, 2024** and that no appeal has been filed.

Stephen AJ Pottle
Deputy City Clerk I



VARIANCE EXTENSION OF TIME – FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004)

ZB-2023-098

The Zoning Board of Appeals scheduled a hybrid public hearing on December 18, 2023, at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking a Variance Extension of Time for property located at 24 Simone Street, Worcester, Massachusetts.

Due notice of the public hearing to be held on December 18, 2023, was sent to the individuals listed on the City of Worcester Certified Abutter's list for the subject property.

On December 4 & December 11, 2023, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

On December 18, 2023, the hybrid meeting was called to order by Russell Karlstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karlstad, George Cortes, Nathan Sabo, and Shannon Campaniello. Board members Jordan Berg Powers, Anthony Dell'Aera, and Eric Torkornoo participated remotely. Remote participation was facilitated for attendees via phone at call-in number, 844-621-3956 (Access Code: 2630 362 4924) and via WebEx link (<https://cityofworchester.webex.com/meet/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 160, Worcester, MA 01608, is the owner and petitioner of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), in the City of Worcester, Massachusetts, and more particularly described in deeds recorded at the Worcester District Registry of Deeds Book 67595, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.
4. The petitioner seeks an extension of time for the previously approved relief granted for the demolition of the existing site improvements and construction of four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.
5. The petitioner seeks an Extension of Time for a period of six months for the following relief:

Extension of Time

Variance: For relief of **250 SF (6.25%)** from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

Findings of Fact – Variance:

Per Article II, Section 6 (A)(3), the ZBA, as Permit Granting Authority, may grant upon appeal or petition with respect to particular land or structures, a variance from the dimensional terms of the Zoning Ordinance. The ZBA may grant a variance only when *all* statutory requirements are met, including the following findings:

- a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.

- b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet of frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.

- c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied with and applicable off-street parking requirements satisfied.

- d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on December 18, 2023, and on motion duly made and seconded, it was voted 5-0 by Board members Russell Karistad, George Cortes, Jordan Berg Powers, Anthony Dell'Aera, and Eric Torkornoo to **approve the Variance Extension of Time** for a period of six (6) months, extending the expiration date to June 6, 2024, for previously granted relief:

Extension of Time

Variance: For relief of **250 SF (6.25%)** from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2)

retaining all **conditions of approval** from the original decision, recorded at the Worcester District Registry of Deeds in Book 68832, Page 290.

The Extension of Time for the Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance must commence no later than six months from the grant hereof. If the requested Variances are litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered.

Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

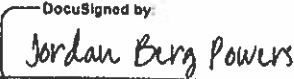
The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

ADJOURNED

DocuSigned by:


RUSSELL KARLSTAD

DATE 01/08/2024

DocuSigned by:


JORDAN BERG-POWERS

DATE 01/08/2024

GEORGE CORTES

DATE _____

ERIC TORKORNOO

DATE _____

ANTHONY DELL'AERA

DATE _____

REMINDERS

Time Limitations: Per Article II, Section 9.D.7. of the City of Worcester Zoning Ordinance: If the rights authorized by a Variance are not exercised within one (1) year of the date of grant of such Variance they shall lapse. However, the permit granting authority in its discretion and upon written application by the grantee of such rights may extend the time for exercise of such rights for a period not to exceed six (6) months; and provided further, that the application for such extension is filed with such permit granting authority prior to the expiration of such one year period.

Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.



VARIANCE – FINDINGS OF FACT AND DECISION

24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B (MBL 34-010-00004)

ZB-2022-084

The Zoning Board of Appeals scheduled a hybrid public hearing on November 14, 2022 at 5:30 PM in the Worcester City Hall, 455 Main Street, Levi Lincoln Chamber, on the petition of JAE Wor LLC, seeking eight Variances for property located at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), Worcester, Massachusetts.

Due notice of the public hearing to be held on November 14, 2022 was sent to the individuals listed on the City of Worcester Certified Abutter's list for the subject property.

On October 28 & November 4, 2022, notice of the hearing was duly advertised in the Worcester Telegram & Gazette.

November 14, 2022 the hybrid meeting was called to order by Russell Karlstad, Chair. Board members physically present for the hearing at Worcester City Hall, 455 Main Street, Levi Lincoln Chamber were Russell Karlstad, Shannon Campaniello and George Cortes. Board members Anthony Dell'Aera, Nathan Sabo, and Jordan Berg Powers participated remotely. Board member Eric Torkomoo was absent. Remote participation was facilitated for attendees via phone at call-in number, 415-655-0001 (Access Code: 160 884 7670) and via Webex link (<https://cow.webex.com/meet/zoningboardofappealswebex>).

FINDINGS

The Worcester Zoning Board of Appeals (ZBA), having viewed the site, conducted a public hearing and reviewed all the submitted evidence, finds that:

1. JAE Wor LLC, whose address is 90 Madison Street, Suite 610, Worcester, MA 01608, is the owner and petitioner and of certain land situated at 24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) (aka Lots 3A, Lot 3B Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B), in the City of Worcester, Massachusetts, and more particularly described in deeds recorded at the Worcester District Registry of Deeds Book 67595, Page 247.
2. Said land is located in a zoning district classified under the City of Worcester Zoning Ordinance as an RL-7 (Residence, Limited) zoning district.
3. Presently on the premises of 24 Simone Street is a single-family detached dwelling with a detached garage and detached barn.
4. The petitioner seeks to demolish the existing site improvements and construct four semi-detached (duplex) single-family dwellings (total of 8 units), each on their own lot.
5. Each lot is deficient with respect to the minimum lot area dimensional requirement for a semi-detached dwelling in an RL-7 Zone and the applicant seeks a variance for lot area for each of the 8 lots (Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B).

6. The petitioner seeks the following:

Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B

Variance: For relief of 250 SF (6.25%) from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

Findings of Fact – Variance:

7. Per Article II, Section 6 (A)(3), the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations:

a. Describe how a literal enforcement of the provisions of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner the right to fully utilize the area available and put said property to its highest and best use.

b. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet of frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable setbacks requirements can easily be satisfied.

c. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an overall density that is not inconsistent with the controls provided in the Zoning Ordinance. There are numerous existing single-family semi-detached housing units in the vicinity, thus the single-family semi-detached unit style proposed is consistent with surrounding property uses and the development character of the area and presents no detriment to the public good. All applicable building setbacks will be complied and applicable off-street parking requirements satisfied.

d. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:

The requested relief is the minimum required for the proposed use and amounts to an approximately 6.25% reduction in lot area per lot.

DECISION

At a meeting of the Board on November 14, 2022, and on motion duly made and seconded, it was voted 5-0 by Board members Jordan Berg Powers, Nathan Sabo (Alternate), Anthony Dell'Aera, Shannon Campaniello Sabo (Alternate), and Russell Karistad to approve the requested 8 Variances:

Lot 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B

Variance: For relief of 250 SF from the 4,000 SF minimum lot area dimensional requirement for single-family semi-detached dwelling(s) in an RL-7 Zone (Article IV, Section 4, Table 4.2).

With the following conditions of approval:

1. Prior to the issuance of a Building Permit provide one (1) to-scale, stamped/sealed original of a final revised site plan-set and architectural plans, and a PDF file of the same, to the Division of Planning & Regulatory Services:
 - a. Reflect one (1) minimum 3.5" caliper shade street (either to be protected during construction and remain or be planted) on each lot within the front- and exterior-side yard setbacks.
 - b. Label existing and proposed grades and any proposed stormwater management facilities.
 - c. Demonstrate zoning compliance with respect to minimum required setbacks on Lots 3 & 4, rotating the proposed structure on Lot 3 to face Valmor Street and structure on Lot 4 to Maranda Street, and reconcile plans accordingly.
 - d. Provide a revised zoning summary/dimensional table reflecting each lot.
 - e. Reflect a walkway from the front-door to the driveway.
2. Post-development runoff shall not exceed pre-development runoff levels.
3. No existing drainage infrastructure (e.g. swale) on or abutting the site shall be impacted by construction.
4. Provided that the project is constructed in substantial accordance with the findings of fact and all final revised plans on file with the City of Worcester and in accordance with all applicable governmental codes.

The Board also voted unanimously to approve waivers of the following plan requirements:

1. Distances from adjacent buildings
2. Percentage of the lot covered by the principal and accessory building

The Variance shall not take effect until the petitioner records, at his or her own expense, a copy thereof with the Worcester District Registry of Deeds, pursuant to Massachusetts General Laws, Chapter 40A, Section 11, as amended. The rights authorized by the Variance is litigated, all time periods for recording and construction shall not commence to toll until a final, favorable decision of the Honorable Court is rendered.

Appeals of this decision shall be made pursuant to M.G.L. c. 40A § 17 and shall be filed within twenty days after the filing of this decision in the office of the City Clerk.

It was **ORDERED** by the Board that persons notified of the hearing be notified of the foregoing decision.

The names typed below represent the intent to sign the foregoing document in accordance with MGL Chapter 110G §9. Duly authorized by Ch. 110G and recorded at Worcester Registry of Deeds in Book 62537, Page 327.

ADJOURNED

RUSSELL KARLSTAD

DATE _____



SHANNON CAMPANELLO (Alternate)

DATE 12/5/2022

NATHAN SABO (Alternate)

DATE _____

ANTHONY DELL'AERA

DATE _____

JORDAN BERG POWERS

DATE _____

2022 NOV 23 09:40

REMINDERS

Time Limitations: If the activity authorized by a Variance granted by the ZBA is not initiated within one (1) year of the date of grant (one year from date Special Permit is received by the City Clerk) and/or the activity is not completed within two (2) years, then the Variance shall lapse unless the Director of Code Enforcement makes a determination that the failure to complete was for good cause. Per Article II, Section 9, D. 5. of the City of Worcester Zoning Ordinance.

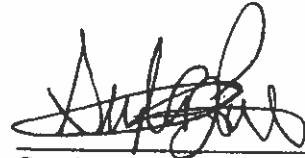
Landscaping Requirements: Required landscaping shall be maintained in a healthy growing condition, free of refuse and debris, and any plantings that do not survive shall be replaced in kind by the applicant or the property owner within a reasonable period of time. All plant materials and fencing shall be arranged and maintained so as not to obscure the vision of traffic. There shall be no parking of vehicles or snow storage in areas used for screening and buffering. Per Article V, Section 5, C. iv of the City of Worcester Zoning Ordinance.

Construction Noise: No person shall operate any powered construction equipment or build, erect construct, demolish, alter, repair, excavate or engage in hoisting, grading, site work, including tree and brush removal, dredging or pneumatic hammering, or deliver construction equipment and/or supplies to the site on any building, road, tower, parking lot, machine, pipe, sewer, sidewalk, or any other construction project, except between the hours of 7:00 a.m. and 9:00 p.m. on weekdays and Saturday, and between the hours of 9:00 a.m. and 7:00 p.m. on Sundays. Per Chapter 9 Section 1A (e) (9) of the City of Worcester's Ordinance Relative to Excessive and Unreasonable Noise.

City of Worcester, MA

February 2, 2023

I certify that twenty days have elapsed after the attached Decision for **24 Simone Street (aka 0 Valmor Street & 0 Maranda Street) aka Lots 3A, Lot 3B, Lot 4A, Lot 4B, Lot 5A, Lot 5B, Lot 6A, Lot 6B** has been filed with the City Clerk Department as of **December 6, 2022** and that no appeal has been filed.



Stephen A.J. Pottle
Deputy City Clerk



VARIANCE APPLICATION

LOT 3A

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:					
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 3B

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:					
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 4A

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:					
Relief requested:		Relief requested:			
Signs		Zoning Ordinance Article & Section:			
		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 4B

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 5A

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 5B

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 6A

CITY OF WORCESTER ZONING BOARD OF APPEALS
 455 Main Street, Room 404, Worcester, MA 01608
 Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
Relief requested:	250	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE APPLICATION

LOT 6B

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404, Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	3,750	Setback provided:		Setback provided:	
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Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:		Setback required:		Setback required:	
Frontage provided:		Setback provided:		Setback provided:	
Relief requested:		Relief requested:		Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:					
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					

1. Assessor's ADDRESS OF SUBJECT PROPERTY: 24 Simone Street
 (List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).
2. Is this property known by any other address: No.
3. OWNER OF RECORD: JAE Worc LLC
 (The owner of record is the person or entity who owns title to the property as of today's date)
4. Address (es) of owner of record is /are 90 Madison Street, Suite 610, Worcester, MA 01608
5. Worcester District Registry of Deeds (WDRD) Book(s) 67595, Page(s) 247
 (List Book and Page number of deed filed for the subject property as recorded at the WDRD)
6. City of Worcester Assessor's Office Map 34 Block 010 Lot 00004
 (List MBL number for the subject property as listed at Assessor's Office)
7. NAME OF APPLICANT(S): JAE Worc LLC
8. Address of Applicant: 90 Madison Street, Suite 610, Worcester, MA 01608
9. Telephone: (774) 696-3814
10. Email: annaszeto.fm@gmail.com
11. Check if you are an: owner (s lessee (s optionee (s (If you are not the owner of the subject property and are a lessee or optionee is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)
12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts):
RL-7
13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):
Existing single family dwelling with detached garage and barn structure.
14. The applicant seeks to (Describe what you want to do on the property in as much detail as possible):
Demolish existing structures, divide the property into four ANR lots each containing 7,500 square feet of area. Said lots to be further subdivided into eight lots each containing 3,750 square feet of area with the construction of four single family semi-detached structures for a total of eight dwelling units thereon.
15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property):
Article II, Section 6 A 3

16. Are you aware if this property has been previously granted approvals from any City Board or Commission?

If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):

Planning Board approval obtained on August 18, 2022 for division of property into four conforming lots. See ANR Plan filed herewith recorded in Worcester District Registry of Deeds Plan Book 966, Plan 25.

17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:

No.

18. List any additional information relevant to the Variance (s):

The land in question has a total of 30,000 square feet of area which represents 93.75 % of the lot area required for the proposed use. In addition the frontage for the lots proposed exceeds the minimum frontage required in every case and the proposed structures to be built thereon will meet all other applicable set back requirements and satisfy the off street parking requirements .

VARIANCE FINDINGS OF FACT

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:

The by right use of the property, as currently configured, is limited to four single family dwelling units which is well below the carrying capacity of the property given that the area and frontage available are sufficient to support eight to ten single family dwelling units if the property were to be divided into two lots and granted Special Permits for said use. The limitation on the use of the property to four units presents a financial hardship for the owner since it denies the owner to right to fully utilize the area available and put said property to its highest and best use.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:

The land in question has a total of 30,000 square feet of area with 150 feet of frontage on Valmor Street, 200 feet of frontage on Simone Street and 150 feet of frontage on Maranda Street. The available frontage for the lot is not typical for lots in the RL-7 Zoning District and provides ample access to the proposed dwelling units in a manner that is not generally possible for similarly zoned parcels. The Applicant believes and maintains that said improved access justifies the granting of relief for the minor deficiency in lot area given that all other applicable set back requirements can be easily satisfied.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:

The requested relief will allow for the construction of four additional dwelling units to be built, to meet the growing need for the same, without over burdening the lot with an over all density that is not inconsistent with the controls provided in the Zoning Ordinance. The single family semi-detached unit style proposed is consistent with surrounding property uses and presents no detriment to the public good given that all applicable building set-backs will be complied and applicable off street parking requirements satisfied.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship: The requested relief is the minimum required for the proposed use.

WHEREFORE, the applicant(s) requests that this Board grant the variance (s) as requested above.

By: 
(Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.

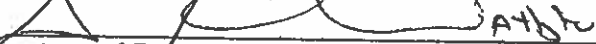
JAE Wor LLC
(Name of Applicant)

90 Madison Street, Suite 610, Worcester, MA 01608
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

September 20, 2022
(Date)

By: 
(Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.

JAE Worc Inc.
(Name of Property Owner)

90 Madison Street, Suite 610, Worcester, MA 01608
(Address)

(774) 696-3814
(Contact Phone Number)

annaszeto.fm@gmail.com
(Email)

September 20, 2022
(Date)

(3) If a Corporation:

Full Legal Name JAE Worc Inc

State of Incorporation Massachusetts

Principal Places of Business Massachusetts

Place of Business in Massachusetts 90 Madison Street, Suite 610, Worcester, Ma 01608

Printed Names of Officers of Corporation: _____ Title _____


Joseph Charpentier _____ Manager _____

Owners of Corporation:

Printed Names _____ Address _____ % of stock _____

Joseph Charpentier _____ 90 Madison St, Suite 610, Worcester, MA 01608 100%

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

 _____ Date: 9/20/22

Date: _____

Date: _____

Date: _____

(4) If a Trust:

Name of Trust _____

Business Address _____

Printed Names of Trustees: _____ Address _____

Printed Names of Beneficiaries: _____ Address _____

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

Date: _____

Date: _____

Date: _____

Date: _____

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant: _____

Signature of Applicant: _____ Date: _____

Edward M. Augustus, Jr.
CITY MANAGER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER

ADMINISTRATION & FINANCE

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 52

Parcel Address: 24 SIMONE ST
Assessor's Map-Block-Lot(s): 34-010-00004

Owner: JAE WOR LLC
Owner Mailing: 90 MADISON ST
WORCESTER, MA 01602

Petitioner (if other than owner): DONALD J. O'NEIL
Petitioner Mailing Address: 688 PLEASANT ST
WORCESTER, MA 01602

Petitioner Phone: 508-755-5655

Planning: _____ Zoning: X Liquor License: _____ ConComm: _____
Historical: _____ Cannabis: _____ Other: _____

34-012-001+4	CRANTZ SCOTT + JULIE	0058 COUNTY ST	WORCESTER MA 01604
34-012-001+2	GITAU PENINA W +	0087 VALMOR ST	WORCESTER MA 01604
34-012-001+1	SMITH PATRICIA A	0089 VALMORE ST	WORCESTER MA 01604
34-012-001+5	LOPES JESSICA	0056 COUNTY ST	WORCESTER MA 01604
34-012-001+3	ROBIDOUX RAYMOND R + MARCIA M	0060 COUNTY ST	WORCESTER MA 01604
34-010-00030	SAKHAT NABIL	0013 MARANDA ST	WORCESTER MA 01604
34-010-00004	JAE WOR LLC	0090 MADISON ST SUITE 610	WORCESTER MA 01608
34-010-002-1	GINGRAS MICHAEL T + DONNA M	0079 MARANDA ST	WORCESTER MA 01604
34-010-00044	HALL RICHARD W	0362 HIGH ST	UXBRIDGE MA 01569
34-010-00006	JAE WOR LLC	0090 MADISON ST SUITE 610	WORCESTER MA 01608
34-010-00198	RITCHIE HALEY	0109 SUNDERLAND RD	WORCESTER MA 01604
34-010-00284	KELICKER JEFFREY P + ANNE T	0119 SUNDERLAND RD	WORCESTER MA 01604
34-010-0043A	FOSTER JOHN	0115 SUNDERLAND RD	WORCESTER MA 01604
34-010-02R-A	CLAIREMONT EVAN	0084 VALMOR ST	WORCESTER MA 01604
34-010-00008	MEYER MICHELLE E +	0024 VALMOR ST	WORCESTER MA 01604
34-010-00031	ZORGE MICHAEL	0006 CORRINE ST	WORCESTER MA 01604
34-010-00007	SULLIVAN LAWRENCE A + SUZANNE	20 SIMONE ST	WORCESTER MA 01604
34-010-0044A	JEAN ANOULD	0016 MARANDA ST	WORCESTER MA 01604
34-010-00022	WESTALL SAMANTHA	0015 CORRINE ST	WORCESTER MA 01604
34-011-00023	OPACKI ANGELA S + THOMAS M	0022 COUNTY ST	WORCESTER MA 01604

34-010-00001	GUIRY MATTHEW + MEGAN C	0080 VALMOR ST	WORCESTER MA 01604
34-010-00043	MAHONEY MICHAEL ANTHONY	0077 CORRINE ST	WORCESTER MA 01604
34-010-0043B	ABDULMASSIH JOSEPH +	0028 MARANDA ST	WORCESTER MA 01604
34-012-0001A	BOZIL LAURETTE + JEAN MICKER +	0091 VALMOR ST	WORCESTER MA 01604
34-011-00027	AUCLAIR DAWN E	0047 VALMOR ST	WORCESTER MA 01604
34-010-00021	SANTIAGO MARGARITA + LUZ A	0017 CORRINE ST	WORCESTER MA 01604
34-010-00033	GRAMPEITRO EDMUND B + BARBARA L	0018 SIMONE ST	WORCESTER MA 01604
34-011-0027A	PINTO ABIGAIL + NICHOLAS	0021 JASMINE DR	WORCESTER MA 01605
34-012-00027	RICHARDS KATHERINE J +	0024 COUNTY ST	WORCESTER MA 01604
34-012-02-3R	TATE SUZAN + KENYON ANGELA	081B VALMOR ST	WORCESTER MA 01604
34-012-00001	SKOCZYLAS BETA M + HENRYK W	0009 FAIRFIELD DR	DUDLEY MA 01571
34-010-00272	COVELLO ANTHONY F	0025 SIMONE ST	WORCESTER MA 01604
34-010-00019	FRECHETTE JOSEPH GERARD	0029 SIMONE ST	WORCESTER MA 01604
34-012-00026	LUCK SEAN	0028 COUNTY ST	WORCESTER MA 01604
34-010-0239B	WEEMS DARIUS A + NUGENT KRYSTAL J	0024 MARANDA ST	WORCESTER MA 01604
34-010-00018	COVELLO MICHAEL R +	65 CORRINE ST	WORCESTER MA 01604
34-010-00002	HERNANDEZ FRANCISCO	0125 SUNDERLAND RD APT A	WORCESTER MA 01604
34-010-0239A	BARTLETT TRACY S	0026 MARANDA ST	WORCESTER MA 01604
34-012-00025	DUGGAN DEBRA A	0054 COUNTY ST	WORCESTER MA 01604
34-010-0002A	HAMMOND JULIANNE K	0081 MARANDA ST	WORCESTER MA 01604
34-010-02R-B	CLAIREMONT EVAN + KIMBERLY	0082 VALMOR ST	WORCESTER MA 01604
34-010-0002B	BREEN JEAN	0141 SUNDERLAND RD	WORCESTER MA 01604
34-010-00038	PERRY JOAN F + MICHELE	0078 VALMOR ST	WORCESTER MA 01604
34-011-00022	SWIDLER RONALD A+MARIA M	0018 COUNTY ST	WORCESTER MA 01604
34-011-29-D2	ISUFI AFRIM D	0029 VALMOR ST	WORCESTER MA 01604
34-011-29-D1	ISUFI EMINE	0027 VALMOR ST	WORCESTER MA 01604
34-011-0001A	DASILVA ALESSANDRE + ROSEMAR P	0040 COUNTY ST	WORCESTER MA 01604
34-011-28-E2	LOPEZ AGUSTIN	0033 VALMOR ST	WORCESTER MA 01604
34-011-28-E1	DUNLEVY KEVIN P	339 BROOKS ST	WORCESTER MA 01606
34-012-02-3L	AFABLE JOLYON PHILIP A +	0110 BELLE AVE	BOSTON MA 02132
34-012-00002	BROUGH AUSTIN + FERRARONE CHLOE	0079 VALMOR ST	WORCESTER MA 01604
34-012-002-1	MUJJUZI MARVIN S	0077 VALMOR ST	WORCESTER MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lots 34-010-00004 as cited above.

Certified by:

Signature Samuel C. Konieczny

07/12/2022

Date

Edward M. Augustus, Jr.
CITY MANAGER



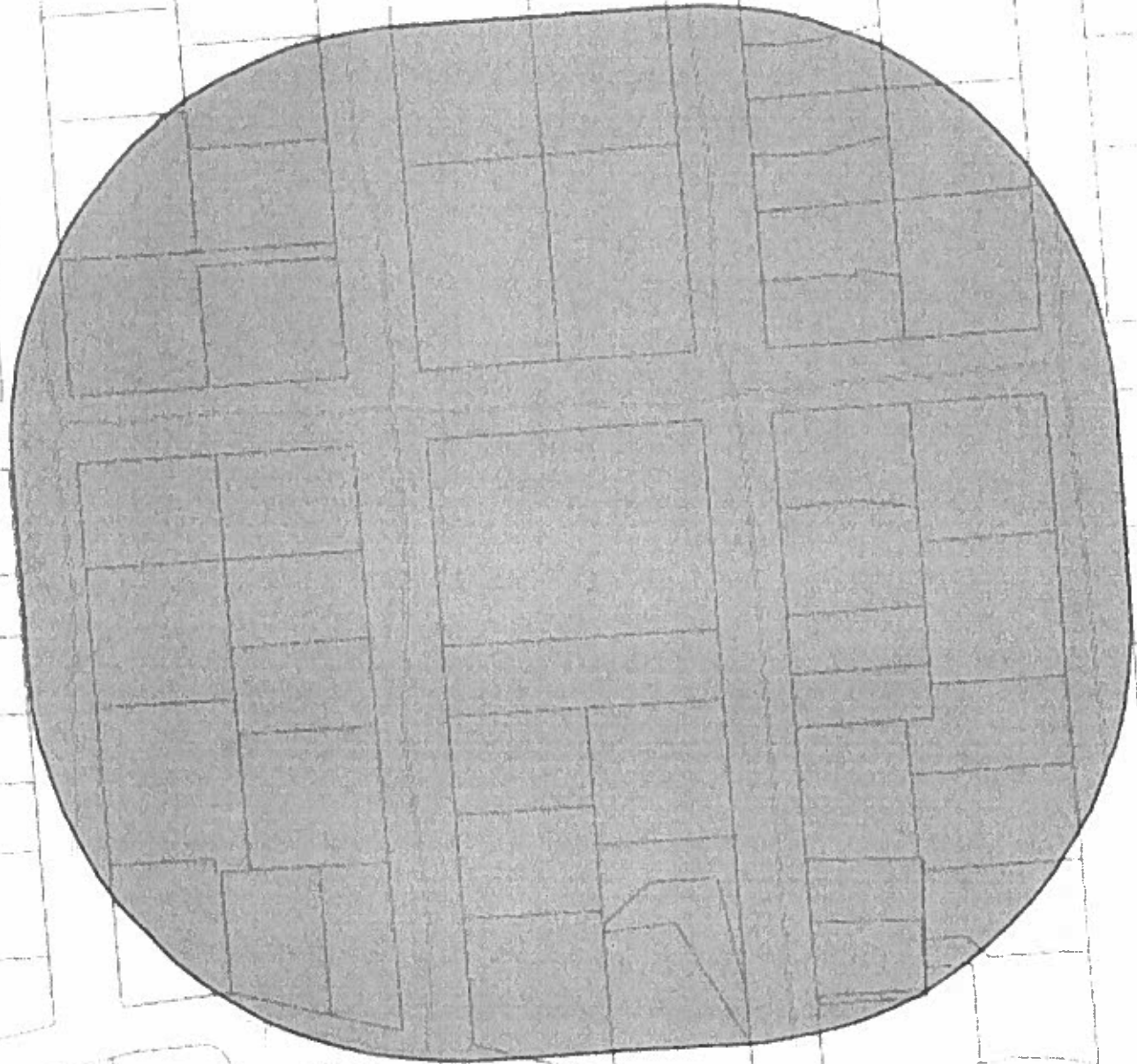
Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER

ADMINISTRATION & FINANCE

Abutters Map



NEW CONSTRUCTION:

PROPOSED DUPLEX

PROJECT LOCATION
70-72 VALMOR STREET
WORCESTER, MA 01604

CLIENT
FOREVER MECHANICAL HVAC/R, INC.
90 MADISON STREET
WORCESTER, MA 01608

ARCHITECT
DIXON SALO ARCHITECTS, INC.
300 MAIN STREET, FIRST FLOOR
WORCESTER, MA 01608
MR. JESSE HILGENBERG
JHILGENBERG@DIXONSALOARCHITECTS.COM
(T) 508.755.0533

LIST OF DRAWINGS

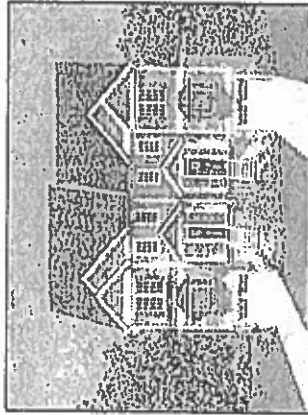
NO.	DATE	DESCRIPTION
1	10/15/2023	CONTRACT DOCUMENTS
2	10/15/2023	FOUNDATION PLAN
3	10/15/2023	FLOOR PLAN
4	10/15/2023	SECTION
5	10/15/2023	EXTERIOR ELEVATION
6	10/15/2023	MECHANICAL PLAN
7	10/15/2023	MECHANICAL ELEVATION
8	10/15/2023	MECHANICAL SECTION
9	10/15/2023	MECHANICAL DETAIL
10	10/15/2023	MECHANICAL SCHEDULE
11	10/15/2023	MECHANICAL LEGEND
12	10/15/2023	MECHANICAL SYMBOLS
13	10/15/2023	MECHANICAL MATERIALS
14	10/15/2023	MECHANICAL DRAWING SYMBOLS
15	10/15/2023	MECHANICAL ABBREVIATIONS
16	10/15/2023	MECHANICAL LOCUS MAP

ABBREVIATIONS:

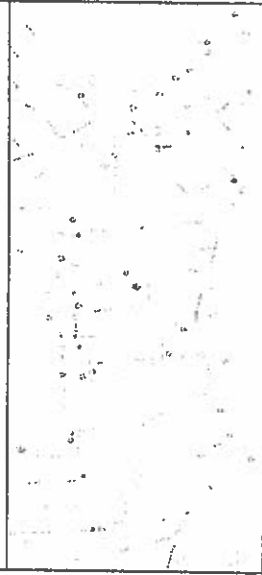
1	MECHANICAL PLAN	MECHANICAL PLAN
2	MECHANICAL ELEVATION	MECHANICAL ELEVATION
3	MECHANICAL SECTION	MECHANICAL SECTION
4	MECHANICAL DETAIL	MECHANICAL DETAIL
5	MECHANICAL SCHEDULE	MECHANICAL SCHEDULE
6	MECHANICAL LEGEND	MECHANICAL LEGEND
7	MECHANICAL SYMBOLS	MECHANICAL SYMBOLS
8	MECHANICAL MATERIALS	MECHANICAL MATERIALS
9	MECHANICAL DRAWING SYMBOLS	MECHANICAL DRAWING SYMBOLS
10	MECHANICAL ABBREVIATIONS	MECHANICAL ABBREVIATIONS
11	MECHANICAL LOCUS MAP	MECHANICAL LOCUS MAP

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
MECHANICAL PLAN	CONCRETE	MECHANICAL PLAN
MECHANICAL ELEVATION	WOOD	MECHANICAL ELEVATION
MECHANICAL SECTION	GLASS	MECHANICAL SECTION
MECHANICAL DETAIL	STEEL	MECHANICAL DETAIL
MECHANICAL SCHEDULE	BRICK	MECHANICAL SCHEDULE
MECHANICAL LEGEND	ASPHALT	MECHANICAL LEGEND
MECHANICAL SYMBOLS	PAVEMENT	MECHANICAL SYMBOLS
MECHANICAL MATERIALS	ROOFING	MECHANICAL MATERIALS
MECHANICAL DRAWING SYMBOLS	LANDSCAPE	MECHANICAL DRAWING SYMBOLS
MECHANICAL ABBREVIATIONS	VEGETATION	MECHANICAL ABBREVIATIONS
MECHANICAL LOCUS MAP	TOPOGRAPHY	MECHANICAL LOCUS MAP



LOCUS MAP



000000

DATE: 10/15/2023
SCALE: AS SHOWN
PROJECT: PROPOSED DUPLEX
PROJECT NO: 2023-001
CLIENT: FOREVER MECHANICAL HVAC/R, INC.
PROJECT ADDRESS: 70-72 VALMOR STREET
PROJECT CITY: WORCESTER, MA 01604
PROJECT STATE: MA
PROJECT ZIP: 01604

PROJECT NO: 2023-001
PROJECT NAME: PROPOSED DUPLEX
PROJECT ADDRESS: 70-72 VALMOR STREET
PROJECT CITY: WORCESTER, MA 01604
PROJECT STATE: MA
PROJECT ZIP: 01604

DATE: 10/15/2023
SCALE: AS SHOWN
PROJECT: PROPOSED DUPLEX
PROJECT NO: 2023-001
CLIENT: FOREVER MECHANICAL HVAC/R, INC.
PROJECT ADDRESS: 70-72 VALMOR STREET
PROJECT CITY: WORCESTER, MA 01604
PROJECT STATE: MA
PROJECT ZIP: 01604



 GSA ARCHITECTS

PROJECT STAMP
 ARCHITECT: [Signature]
 DATE: 10/15/2023

NO. 1000
 PROJECT NO. 23-001

CLIENT: [Name]
 ADDRESS: [Address]

GENERAL INFORMATION
 SHEET NO. A-0.1

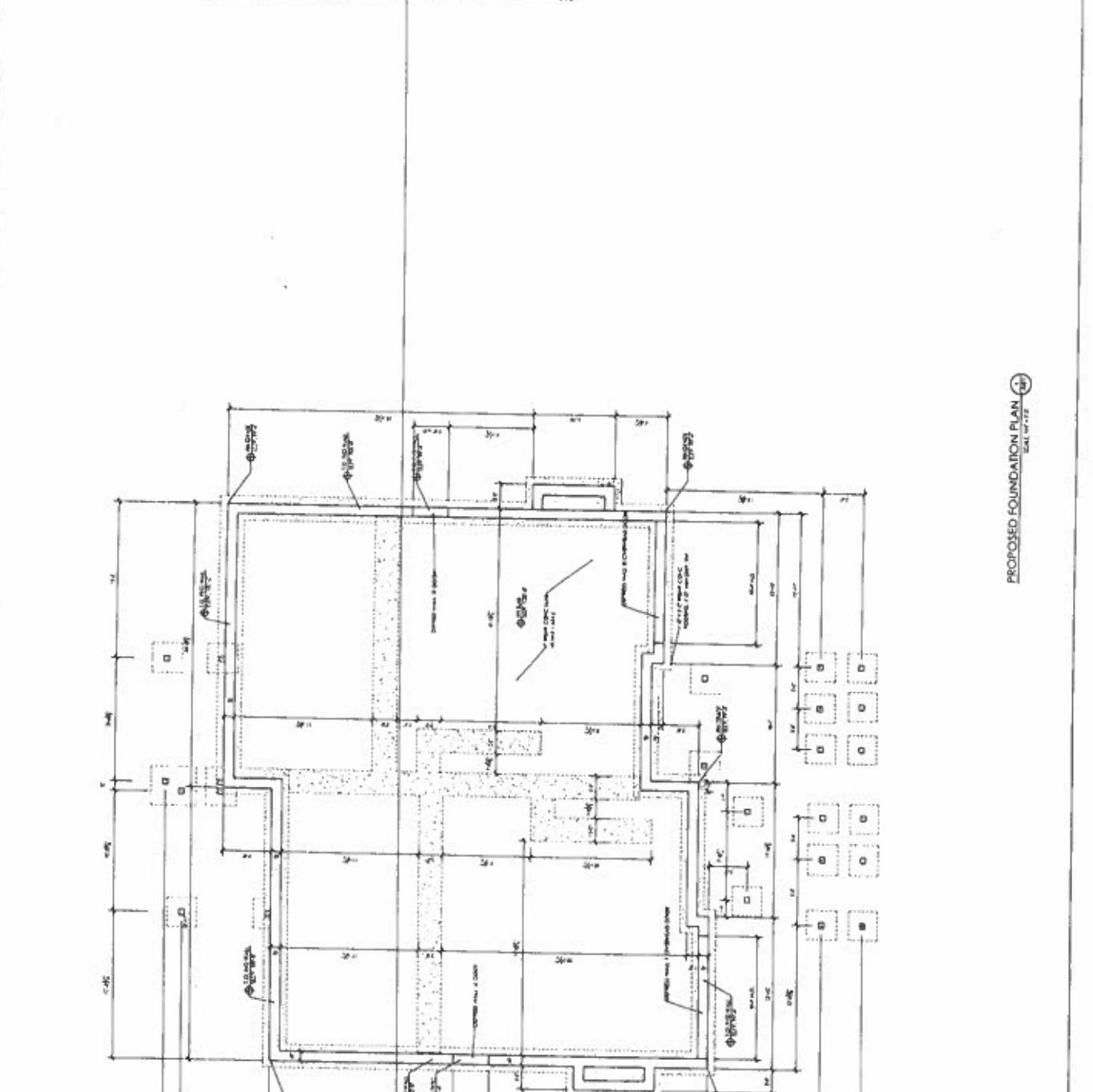
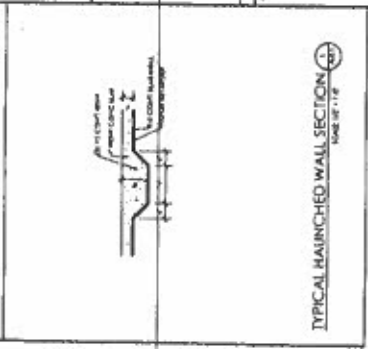
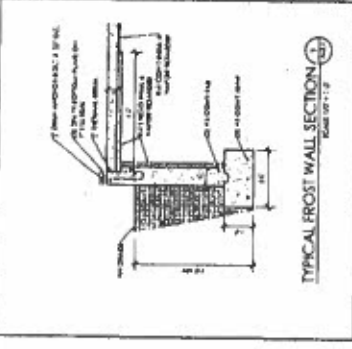
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 PROJECT NO. 23-001

PROJECT NAME
 PROJECT NO. 23-001

PROJECT NO. 23-001
 PROJECT NAME
 PROJECT NO. 23-001

PROJECT NO. 23-001
 PROJECT NAME
 PROJECT NO. 23-001

PROJECT NO. 23-001
 PROJECT NAME
 PROJECT NO. 23-001





PROJECT NAME
DATE
10/5/2023

OWNER
ADDRESS

CONTRACT NO.

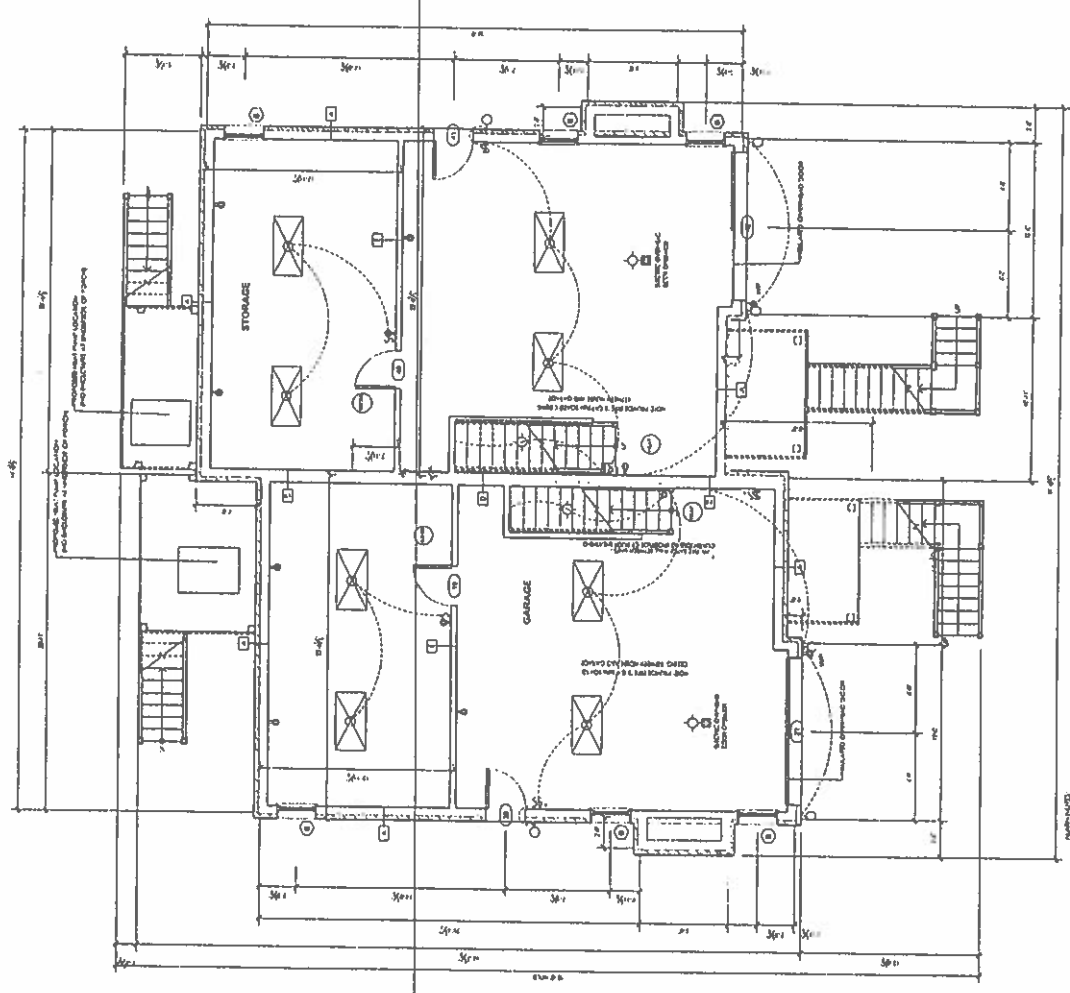
PROJECT NO.
PROJECT NAME
PROJECT ADDRESS
PROJECT CITY
PROJECT STATE
PROJECT ZIP

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/5/2023
2	ISSUED FOR PERMIT	10/5/2023
3	ISSUED FOR PERMIT	10/5/2023
4	ISSUED FOR PERMIT	10/5/2023

PROJECT TITLE
PROJECT ADDRESS
PROJECT CITY
PROJECT STATE
PROJECT ZIP

SHEET NO.
TOTAL SHEETS

SHEET NAME
A-1.0



NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS PLUMBING CODE (807 CMR).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS MECHANICAL CODE (808 CMR).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS ELECTRICAL CODE (806 CMR).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS GAS PIPELINE CODE (809 CMR).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS FIRE ALARM AND SIGNALING CODE (805 CMR).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS ELEVATOR AND ESCALATOR CODE (804 CMR).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS ACCESSIBILITY STANDARDS (816 CMR).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS HISTORIC PRESERVATION ACT (90A CMR).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS ANTI-DISCRIMINATION ACT (94A CMR).

PROPOSED BASEMENT PLAN

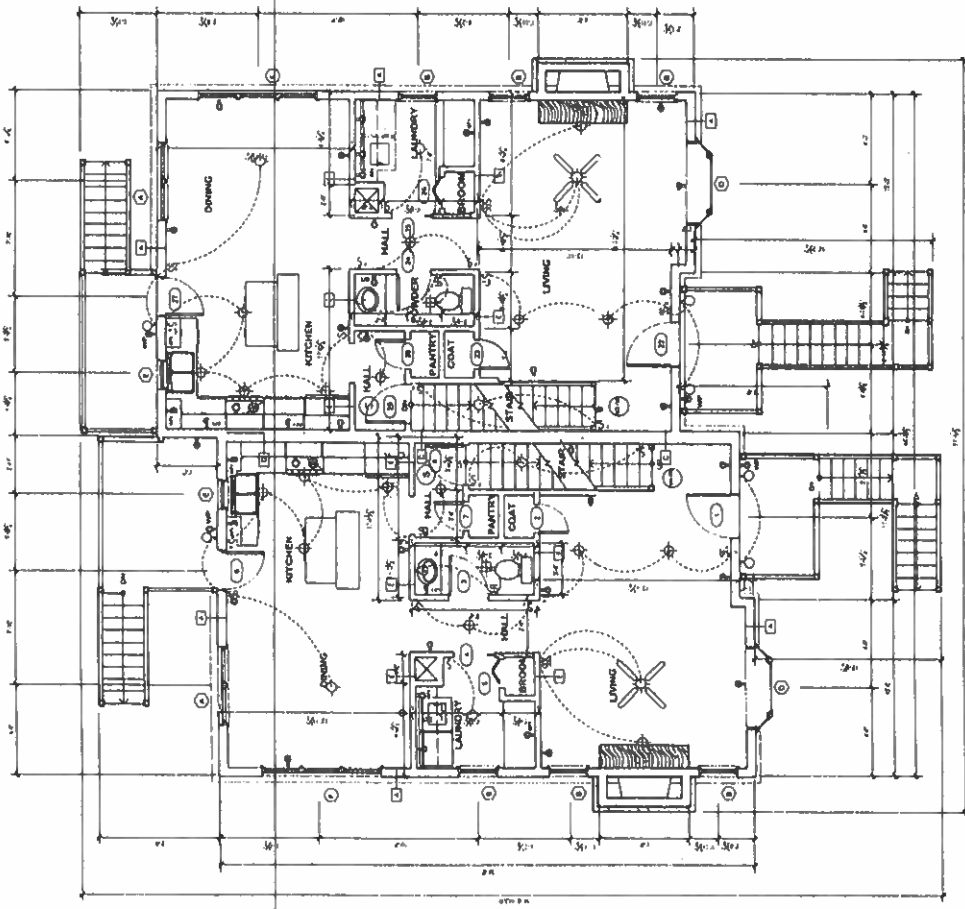


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PROJECT NAME: _____
 SHEET NO.: _____
 SHEET TOTAL: _____

DATE	10/15/2023
PROJECT	PROPOSED DUPLEX
CLIENT	7431 WASHINGTON STREET
LOCATION	WINDSOR, MA 01890
SCALE	AS SHOWN
DRAWN BY	[Name]
CHECKED BY	[Name]
PROJECT NO.	2023-001
DATE	10/15/2023
PROJECT	PROPOSED DUPLEX
CLIENT	7431 WASHINGTON STREET
LOCATION	WINDSOR, MA 01890
SCALE	AS SHOWN
DRAWN BY	[Name]
CHECKED BY	[Name]
PROJECT NO.	2023-001

A-1.1



PROPOSED FIRST FLOOR PLAN

10/15/2023 6:43 AM



ARCHITECT'S STAMP
[Signature]

PROJECT:
 PROJECT'S NAME:

GENERAL INFORMATION

NO. DRAWING: A/A
 NO. SHEETS: 10
 PROJECT: PROPOSED DUPLEX
 ADDRESS: 72-74 VALAOR STREET
 CITY: WORCESTER, MA 01604

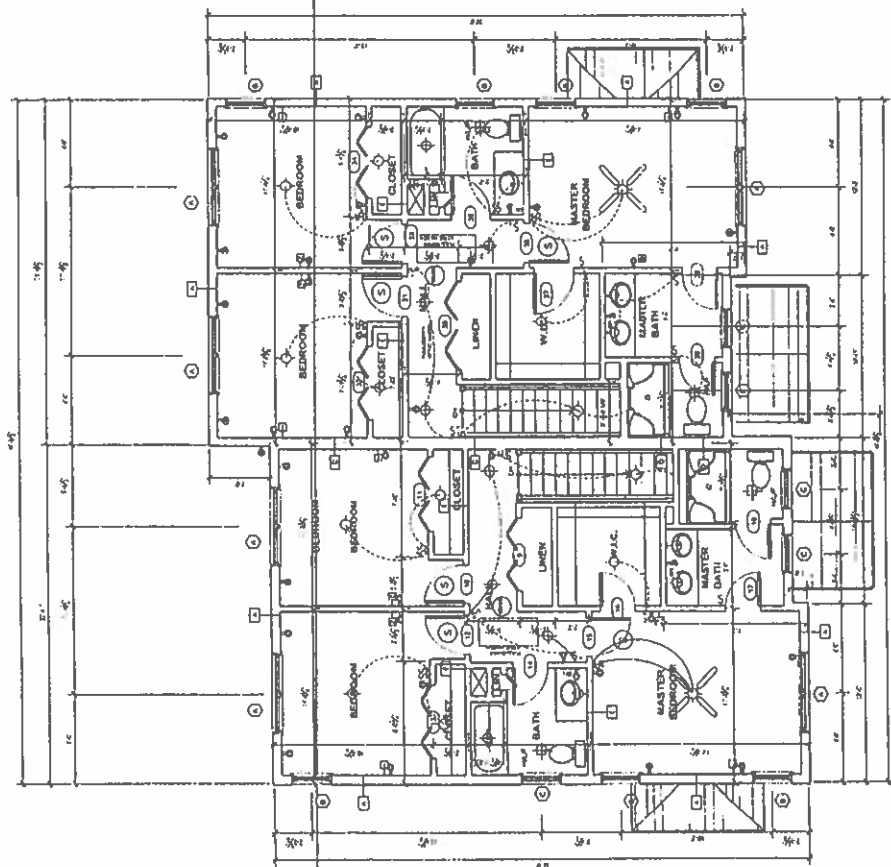
DATE: 10/5/2023
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 ADDRESS: 72-74 VALAOR STREET
 CITY: WORCESTER, MA 01604

DATE: 10/5/2023
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 ADDRESS: 72-74 VALAOR STREET
 CITY: WORCESTER, MA 01604

DATE: 10/5/2023
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 ADDRESS: 72-74 VALAOR STREET
 CITY: WORCESTER, MA 01604

DATE: 10/5/2023
 SCALE: AS SHOWN
 PROJECT: PROPOSED DUPLEX
 ADDRESS: 72-74 VALAOR STREET
 CITY: WORCESTER, MA 01604

A-1.2



NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

PROPOSED SECOND FLOOR PLAN (A)
 Scale: 1/8" = 1'-0"



ARCHITECTS FIRM:
 DIXON SALO ARCHITECTS
 27 WASHINGTON STREET
 WORCESTER, MA 01602
 TEL: 508.853.1234
 FAX: 508.853.1235
 WWW.DIXONSALO.COM

PROJECT NAME:
 PROPOSED DUPLEX
 7-7-7 VALAJOSE STREET
 WORCESTER, MA 01604

DATE:
 10/5/2023
 SCALE:
 1/8" = 1'-0"
 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

DATE:
 10/5/2023
 SCALE:
 1/8" = 1'-0"
 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

DATE:
 10/5/2023
 SCALE:
 1/8" = 1'-0"
 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

DATE:
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 SCALE:
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 PROJECT NO:
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 SHEET NO:
 A-1.3

DATE:
 10/5/2023
 SCALE:
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 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

DATE:
 10/5/2023
 SCALE:
 1/8" = 1'-0"
 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

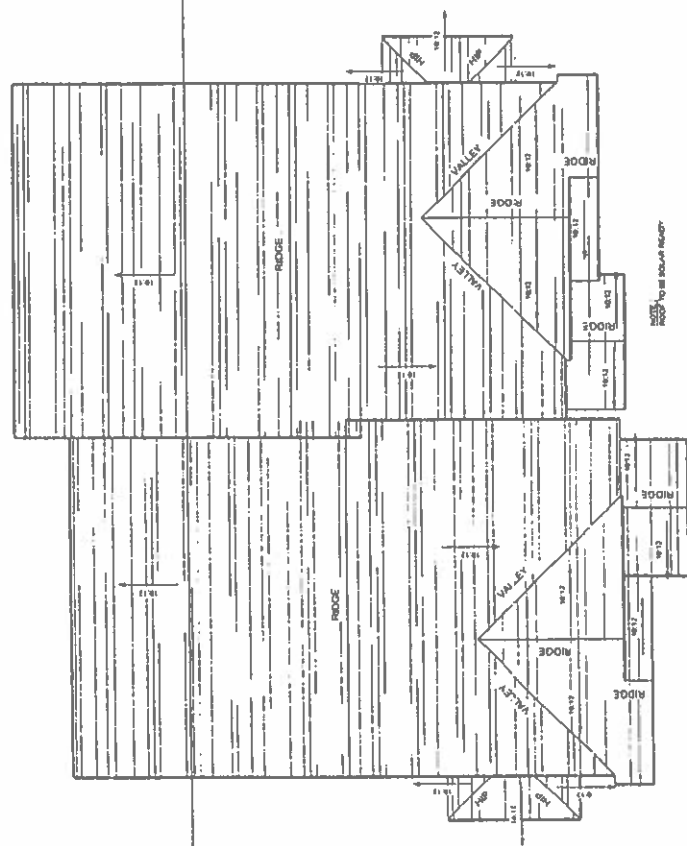
DATE:
 10/5/2023
 SCALE:
 1/8" = 1'-0"
 PROJECT NO:
 2023-001
 SHEET NO:
 A-1.3

RE: BUILDINGS
 PROVIDE PROGRAM/STAIRING AS PER BUILDING CODE.
 PROVIDE AREA OF CALCULATED SPACE AS TO PER 705.4.1
 PROVIDE THE ROOMS IN CALCULATED SPACE OF STAIRS
 INDICATED AT ALL INTERIORS NOT CHANGING IN
 AS FLOOR BETWEEN STAIRS AND STAIRWAYS AT TOP AND BOTTOM OF STAIRS
 AT CORNERS AND/OR VERTICES AND DUCTS AT CEILING AND FLOOR LEVELS

NOTE:
 ALL ROOF VALLEY AND DRAIN BRUSHES
 SHALL BE INSTALLED THROUGH ALL
 DECKING TO EMERALD LANE THROUGH ALL
 DECKING TO EMERALD LANE THROUGH ALL
 DECKING TO EMERALD LANE

NOTE:
 FIELD VERIFY ALL BEARING HEIGHTS

NOTE:
 MINUTION SHALL COMPLY WITH CODE
 EXCLUDED PILES AND ENCLASSED
 ARE APPLIED DIRECTLY TO THE UNDERLIE
 WITHIN FOR EACH SEPARATE SPACE
 SUPPORT THE CORNERS OF PANELS AND
 WITHIN THE CORNERS OF PANELS AND
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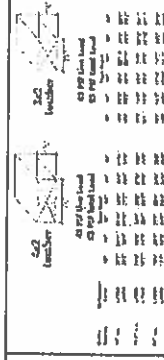


PROPOSED ROOF PLAN
 10/5/2023 6:43 AM

A-1.3

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 PROJECT NO. 23-0003
 SHEET NO. A-2.2
 DATE 10/15/2023
 DRAWN BY [Signature]

PROPOSED SECOND FLOOR FRAMING PLAN
 SHEET NO. A-2.2
 DATE 10/15/2023
 DRAWN BY [Signature]



Load Schedule

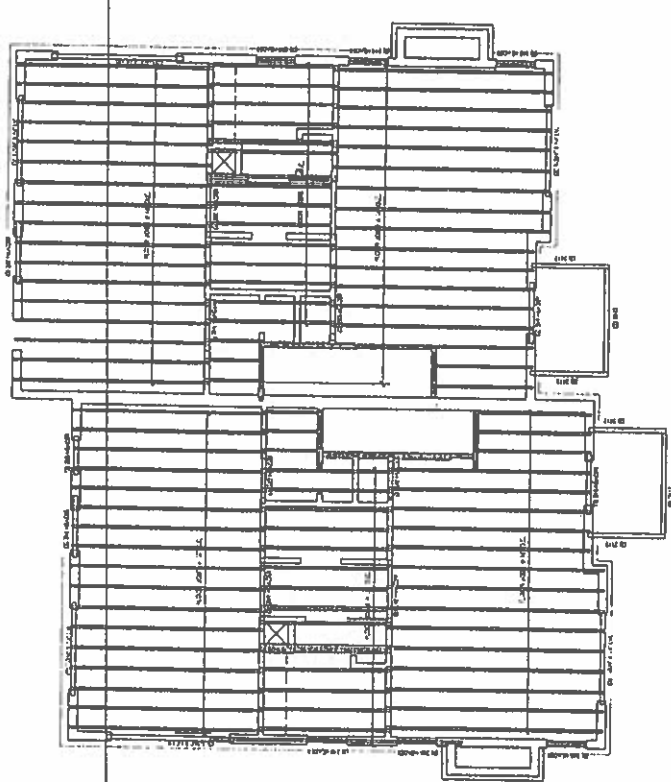
Level	Area	Dead Load (k/ft²)	Live Load (k/ft²)	Total Load (k/ft²)
Floor 2	Office	15	40	55
	Storage	15	20	35
	Stair	15	10	25
	Roof	15	10	25
Floor 1	Office	15	40	55
	Storage	15	20	35
	Stair	15	10	25

Column Schedule

Column	Area	Dead Load (k/ft²)	Live Load (k/ft²)	Total Load (k/ft²)
Column C-1	Office	15	40	55
	Storage	15	20	35
	Stair	15	10	25
	Roof	15	10	25

Beam Schedule

Beam	Area	Dead Load (k/ft²)	Live Load (k/ft²)	Total Load (k/ft²)
Beam B-1	Office	15	40	55
	Storage	15	20	35
	Stair	15	10	25
	Roof	15	10	25



PROPOSED SECOND FLOOR FRAMING PLAN
 SHEET NO. A-2.2

DIXON SALO ARCHITECTS
100 SOUTH MAIN STREET
Worcester, MA 01495
Tel: 508-853-1100
Fax: 508-853-1101
www.dixon-salo.com

PROJECT NAME:
NO.:

CLIENT:

GENERAL INFORMATION:

DATE:
SCALE:
PROJECT NO.:

DRAWN BY:
CHECKED BY:
PROJECT NO.:

PROPOSED DUPLEX
74-76 VALLAUF STREET
WORCESTER, MA 01408

PROPOSED ROOF FRAME PLAN

Sheet No. A-2.3

LUMBER

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	2x12 Deck Board	25	LINEAL FEET	
2	2x12 Rafter	25	LINEAL FEET	
3	2x12 Stud	25	LINEAL FEET	
4	2x12 Truss	25	LINEAL FEET	
5	2x12 Joist	25	LINEAL FEET	
6	2x12 Beam	25	LINEAL FEET	
7	2x12 Post	25	LINEAL FEET	
8	2x12 Column	25	LINEAL FEET	
9	2x12 Wall	25	LINEAL FEET	
10	2x12 Ceiling	25	LINEAL FEET	

1/8" = 1'-0" (Unless Otherwise Noted)

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	2x12 Deck Board	25	LINEAL FEET	
2	2x12 Rafter	25	LINEAL FEET	
3	2x12 Stud	25	LINEAL FEET	
4	2x12 Truss	25	LINEAL FEET	
5	2x12 Joist	25	LINEAL FEET	
6	2x12 Beam	25	LINEAL FEET	
7	2x12 Post	25	LINEAL FEET	
8	2x12 Column	25	LINEAL FEET	
9	2x12 Wall	25	LINEAL FEET	
10	2x12 Ceiling	25	LINEAL FEET	

1/8" = 1'-0" (Unless Otherwise Noted)

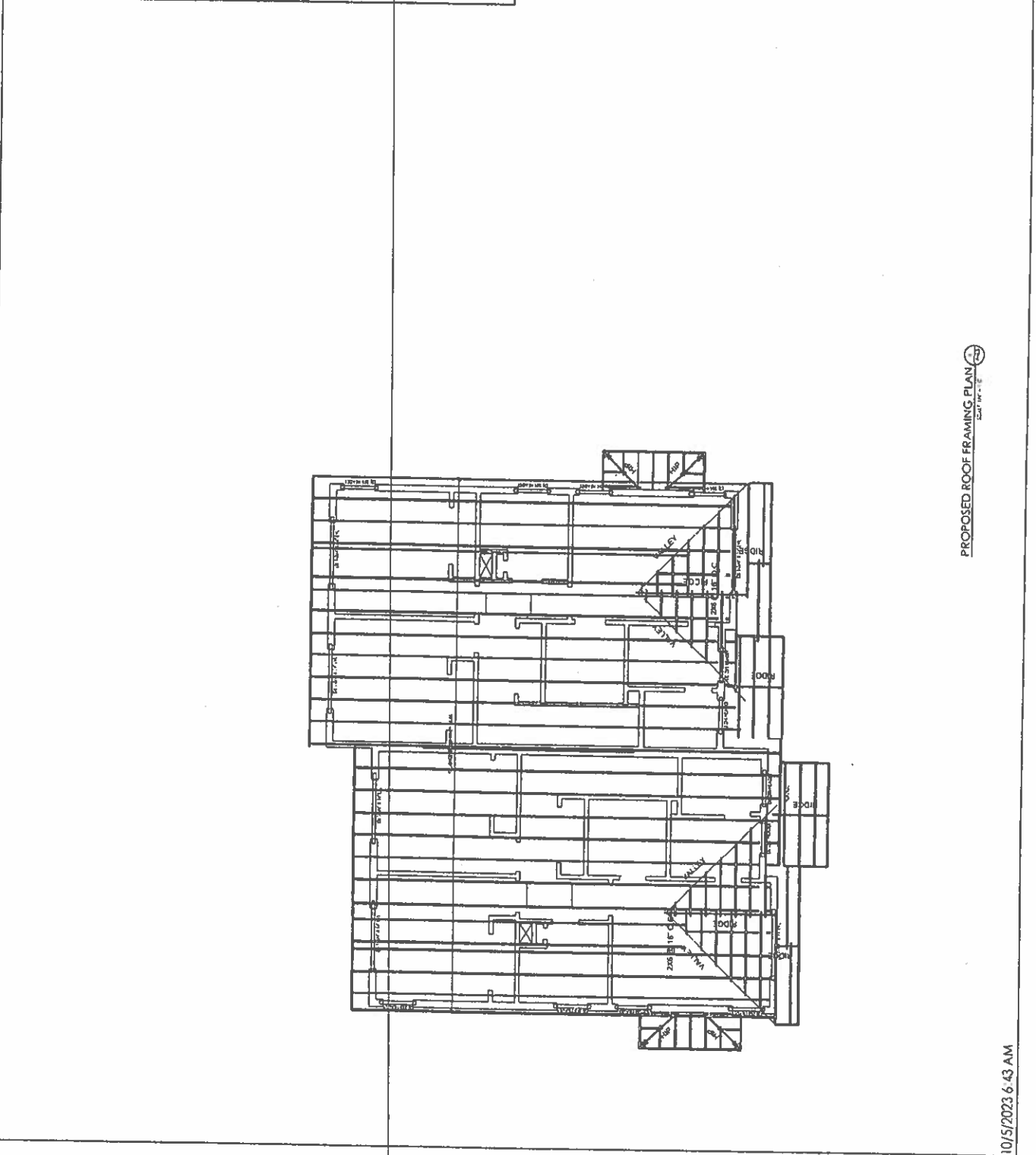
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4	2x12 Truss	25	LINEAL FEET	
5	2x12 Joist	25	LINEAL FEET	
6	2x12 Beam	25	LINEAL FEET	
7	2x12 Post	25	LINEAL FEET	
8	2x12 Column	25	LINEAL FEET	
9	2x12 Wall	25	LINEAL FEET	
10	2x12 Ceiling	25	LINEAL FEET	

1/8" = 1'-0" (Unless Otherwise Noted)

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	2x12 Deck Board	25	LINEAL FEET	
2	2x12 Rafter	25	LINEAL FEET	
3	2x12 Stud	25	LINEAL FEET	
4	2x12 Truss	25	LINEAL FEET	
5	2x12 Joist	25	LINEAL FEET	
6	2x12 Beam	25	LINEAL FEET	
7	2x12 Post	25	LINEAL FEET	
8	2x12 Column	25	LINEAL FEET	
9	2x12 Wall	25	LINEAL FEET	
10	2x12 Ceiling	25	LINEAL FEET	

1/8" = 1'-0" (Unless Otherwise Noted)

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	2x12 Deck Board	25	LINEAL FEET	
2	2x12 Rafter	25	LINEAL FEET	
3	2x12 Stud	25	LINEAL FEET	
4	2x12 Truss	25	LINEAL FEET	
5	2x12 Joist	25	LINEAL FEET	
6	2x12 Beam	25	LINEAL FEET	
7	2x12 Post	25	LINEAL FEET	
8	2x12 Column	25	LINEAL FEET	
9	2x12 Wall	25	LINEAL FEET	
10	2x12 Ceiling	25	LINEAL FEET	





ARCHITECT'S STAMP
 PROJECT NAME
 DRAWN BY
 CHECKED BY

ENGINEER
 PROJECT NUMBER

CONTRACT INFORMATION

DATE
 SCALE
 PROJECT
 DRAWN
 CHECKED
 PROJECT
 PROJECT NUMBER
 PROJECT ADDRESS
 PROJECT CITY

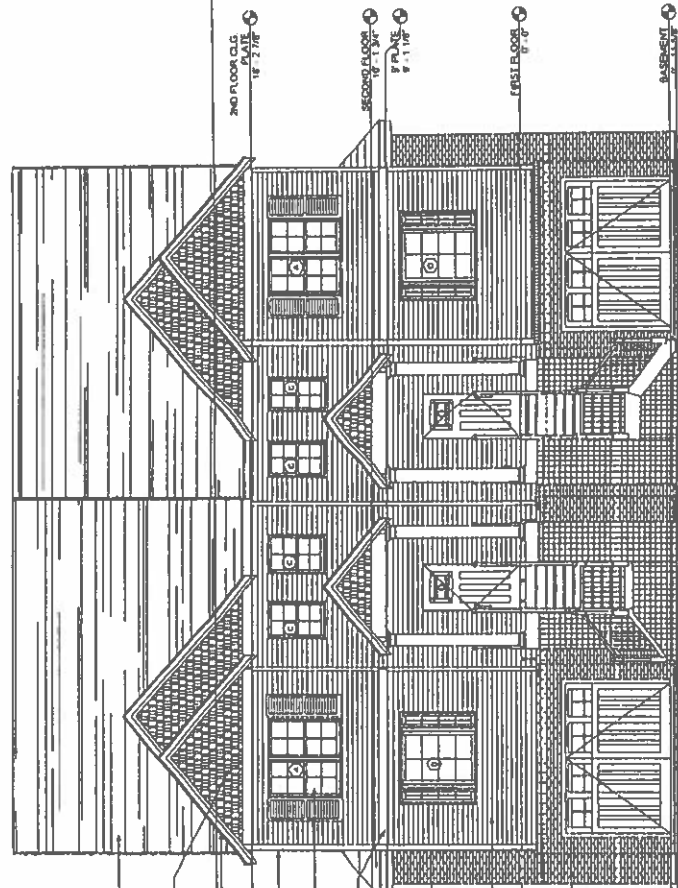
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 PROJECT NUMBER
 PROJECT ADDRESS
 PROJECT CITY

PROJECT NAME
 PROJECT NUMBER
 PROJECT ADDRESS
 PROJECT CITY



ASPHALT SHINGLE ROOFING

VINYL SIDING AS SELECTED BY OWNER

ALUMINUM TRIM EDGE ON TRIM BOARD

SHUTTERS AS SELECTED BY OWNER

VINYL WINDOWS W/ LOW E INSULATED GLASS

BEAUTY BAND

4" CORNER BOARD

VINYL SIDING AS SELECTED BY OWNER

OPTIONAL BRICK VENEER AS SELECTED BY OWNER

PROPOSED FRONT BUILDING ELEVATION (A-3.1)



PROJECT NUMBER
10/15/2023

DATE

PROJECT NAME

GENERAL INFORMATION

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PROJECT NAME 10/15/2023
PROJECT LOCATION 10/15/2023
PROJECT DATE 10/15/2023

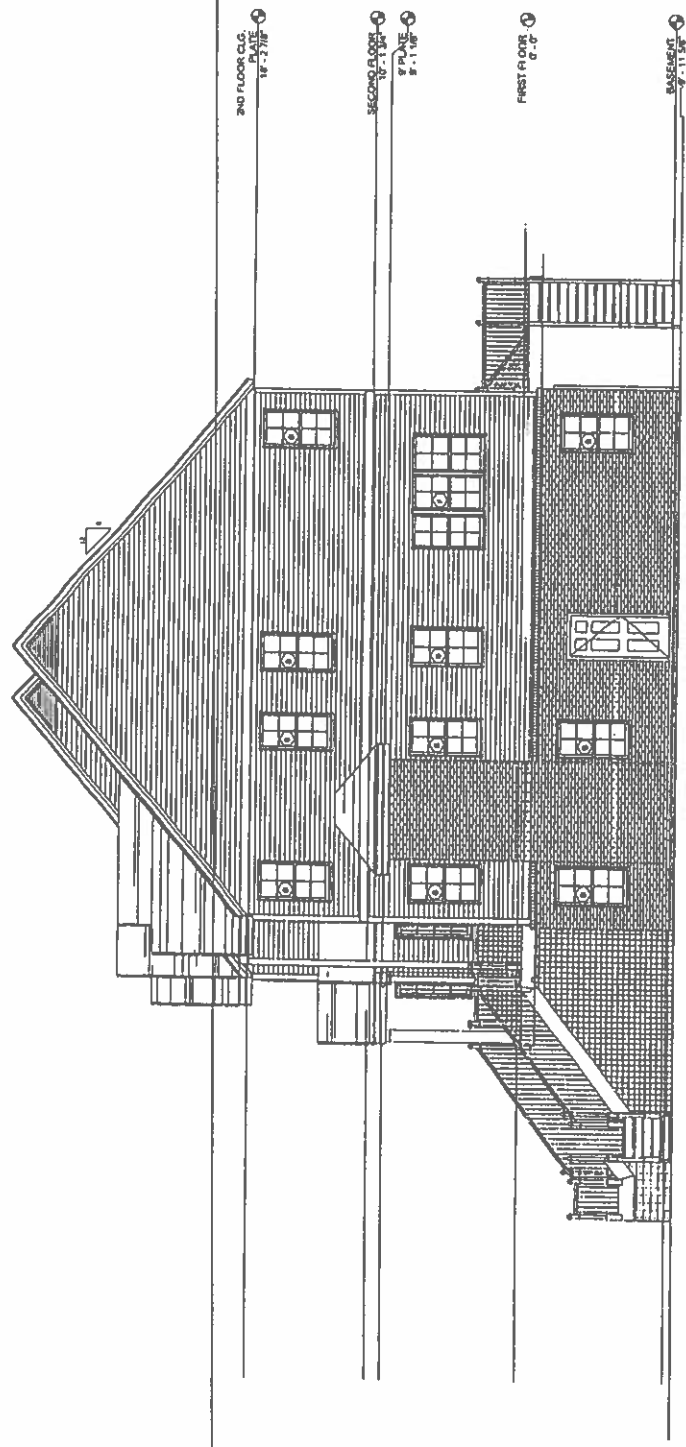
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PROJECT 10/15/2023
DRAWING 10/15/2023
CHECKED 10/15/2023
DATE 10/15/2023

PROJECT NO. 10/15/2023
PROJECT NAME 10/15/2023
PROJECT LOCATION 10/15/2023
PROJECT DATE 10/15/2023

PROJECT NO. 10/15/2023
PROJECT NAME 10/15/2023
PROJECT LOCATION 10/15/2023
PROJECT DATE 10/15/2023

PROJECT NO. 10/15/2023
PROJECT NAME 10/15/2023
PROJECT LOCATION 10/15/2023
PROJECT DATE 10/15/2023

A-3.2



PROPOSED RIGHT SIDE BUILDING ELEVATION
10/15/2023



DION GALLO ARCHITECT
1100 STATE ST. SUITE 200
WORCESTER, MA 01609
TEL: 508.853.1100
WWW.DIONGALLOARCHITECT.COM

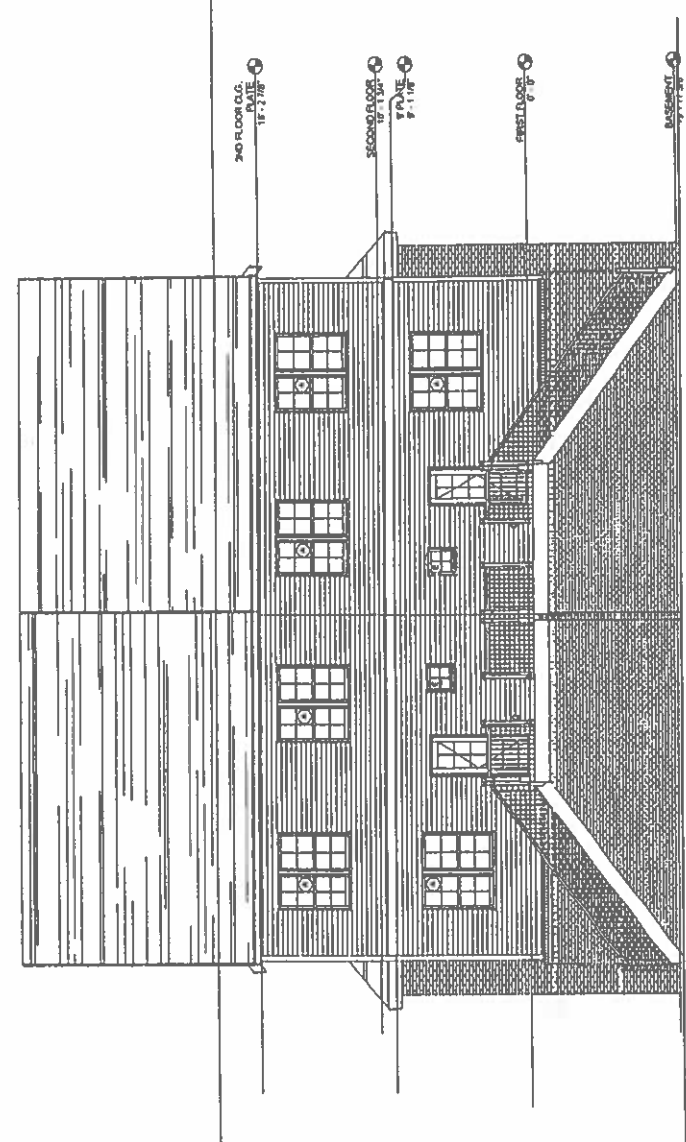
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[Signature]
EXPIRES:

OWNER'S STAMP

GENERAL INFORMATION

DATE	10/11/2023
SCALE	AS SHOWN
PROJECT	PROPOSED REAR BUILDING ELEVATION
PROJECT NO.	2023-1011
CLIENT	MR. & MRS. JAMES J. & KATHY M. GARDNER
PROJECT ADDRESS	1100 STATE ST. SUITE 200 WORCESTER, MA 01609
PROJECT TYPE	PROPOSED DUPLICATION
PROJECT DESCRIPTION	REAR BUILDING ELEVATION
PROJECT STATUS	CONSTRUCTION
PROJECT PHASE	CONSTRUCTION
PROJECT DATE	10/11/2023
PROJECT NO.	2023-1011
PROJECT NAME	PROPOSED REAR BUILDING ELEVATION
PROJECT ADDRESS	1100 STATE ST. SUITE 200 WORCESTER, MA 01609
PROJECT TYPE	PROPOSED DUPLICATION
PROJECT DESCRIPTION	REAR BUILDING ELEVATION
PROJECT STATUS	CONSTRUCTION
PROJECT PHASE	CONSTRUCTION
PROJECT DATE	10/11/2023

PROJECT NUMBER: A-3.3



2ND FLOOR D.G.
15'-0" / 15'-0"

SECOND FLOOR
FRAME
9'-11 1/2"

FIRST FLOOR
0'-0"

BASEMENT
0'-0"

PROPOSED REAR BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT TITLE:
PROPOSED DUPLICATION
PROJECT ADDRESS:
1100 STATE ST. SUITE 200
WORCESTER, MA 01609



ARCHITECT'S STAMP
[Signature]
 DATE: 10/5/2023

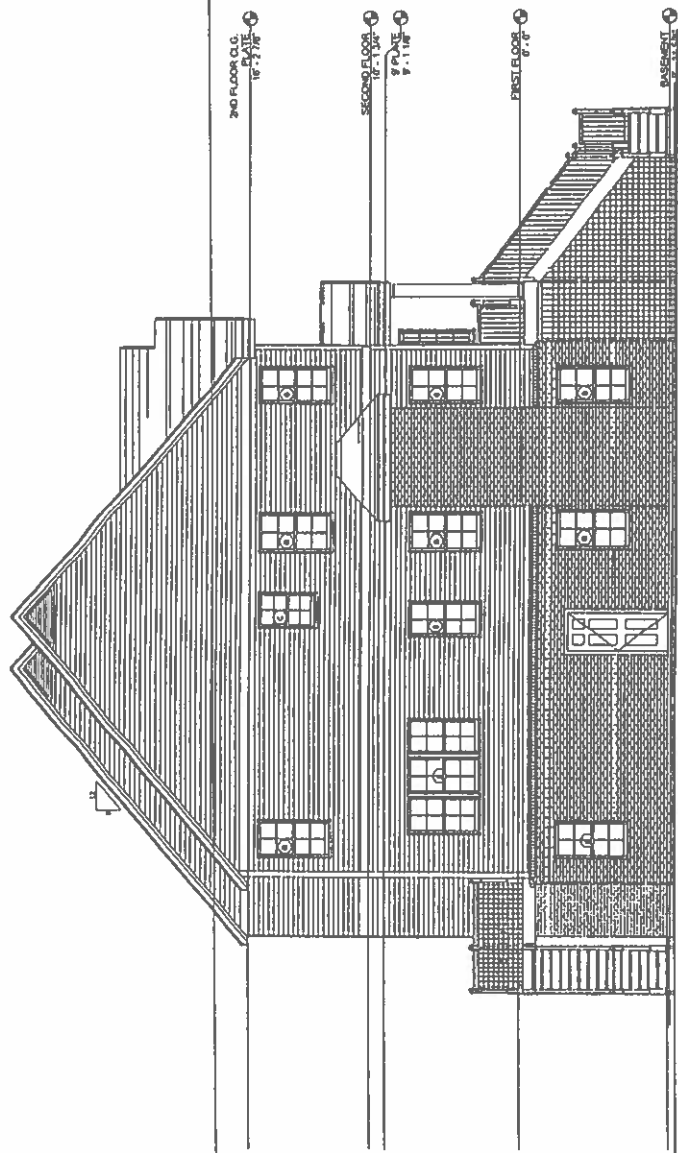
PROJECT NAME:
 PROJECT STAMP:

GENERAL INFORMATION:

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING DEPARTMENT REGULATIONS.

DATE: 10/5/23
 SCALE: AS SHOWN
 PROJECT: 240 FLOORS C/O PLATE MILL
 DRAWN: [Name]
 CHECKED: [Name]
 PROJECT FILE: [Name]
 PROJECT NUMBER: [Name]
 PROJECT ADDRESS: [Name]
 PROJECT CITY: [Name]
 PROJECT STATE: [Name]

SHEET TITLE: PROPOSED LEFT SIDE BUILDING ELEVATION
 SHEET NUMBER: A-3.4



PROPOSED LEFT SIDE BUILDING ELEVATION
 DATE: 10/5/23

480 150 200 250 300 350 400 450 500 550 600 650 700 750 800 850 900 950 1000 1050 1100 1150 1200 1250 1300 1350 1400 1450 1500 1550 1600 1650 1700 1750 1800 1850 1900 1950 2000 2050 2100 2150 2200 2250 2300 2350 2400 2450 2500 2550 2600 2650 2700 2750 2800 2850 2900 2950 3000 3050 3100 3150 3200 3250 3300 3350 3400 3450 3500 3550 3600 3650 3700 3750 3800 3850 3900 3950 4000 4050 4100 4150 4200 4250 4300 4350 4400 4450 4500 4550 4600 4650 4700 4750 4800 4850 4900 4950 5000 5050 5100 5150 5200 5250 5300 5350 5400 5450 5500 5550 5600 5650 5700 5750 5800 5850 5900 5950 6000 6050 6100 6150 6200 6250 6300 6350 6400 6450 6500 6550 6600 6650 6700 6750 6800 6850 6900 6950 7000 7050 7100 7150 7200 7250 7300 7350 7400 7450 7500 7550 7600 7650 7700 7750 7800 7850 7900 7950 8000 8050 8100 8150 8200 8250 8300 8350 8400 8450 8500 8550 8600 8650 8700 8750 8800 8850 8900 8950 9000 9050 9100 9150 9200 9250 9300 9350 9400 9450 9500 9550 9600 9650 9700 9750 9800 9850 9900 9950 10000

DIXON SALO ARCHITECTS
 ARCHITECTS
 PROJECT NO. 2023-01
 PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

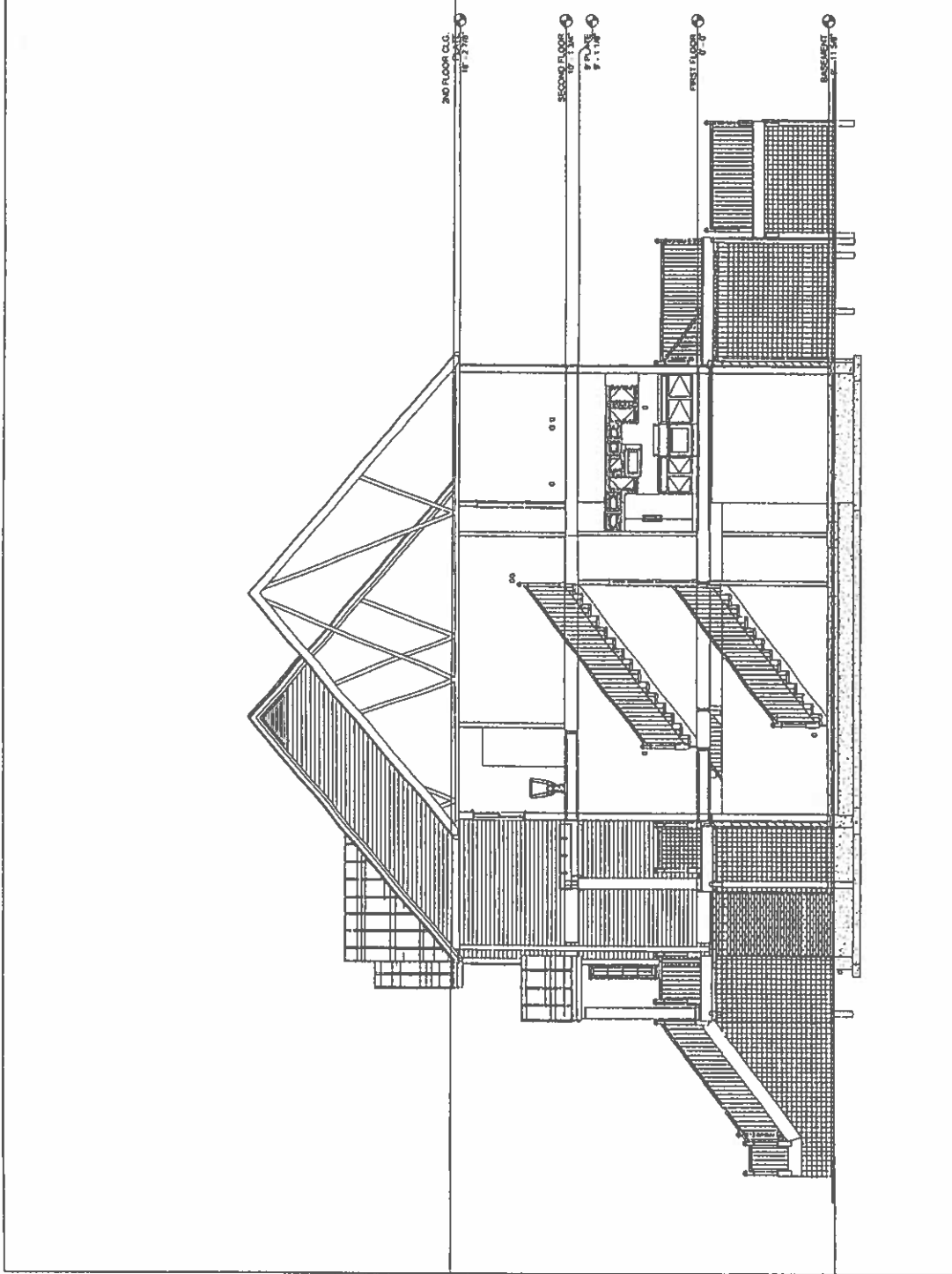
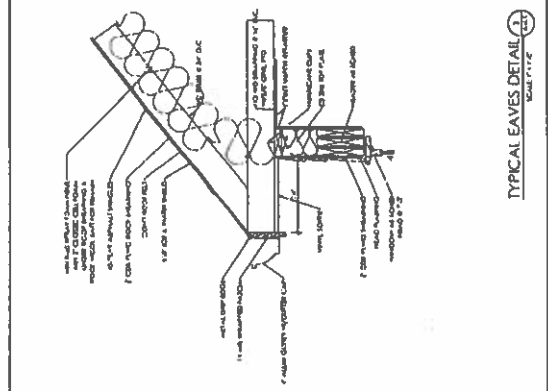
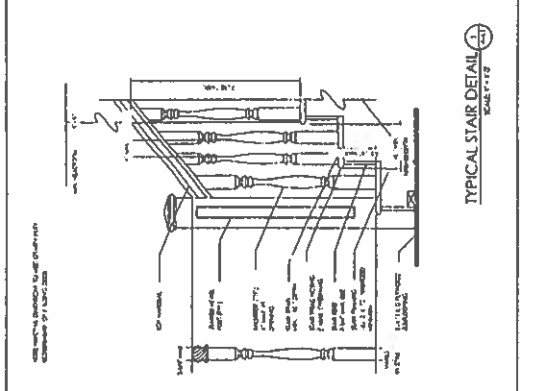
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 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023



PROPOSED BUILDING SECTION
 SCALE 1/8" = 1'-0"

PROJECT NAME: PROPOSED BUILDING SECTION
 PROJECT ADDRESS: 7475 VALANCE STREET, HOUSTON, TX 77036
 PROJECT DATE: 12/2023



ARCHITECT'S STAMP

John Salvo

PROJECT NO.

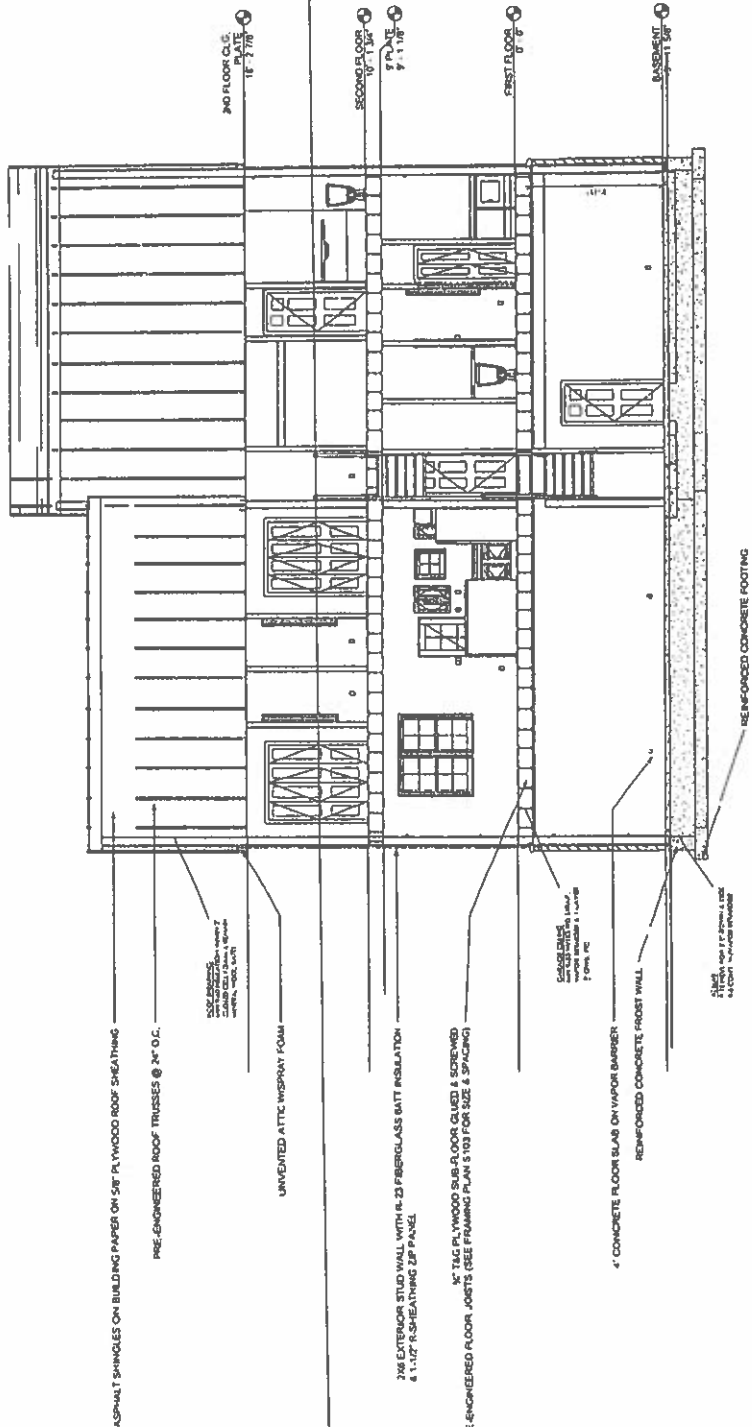
ENGINEER'S STAMP

CLIENT ADDRESS

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3	SCALE	AS SHOWN
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5	CLIENT NAME	PROPOSED BUILDING SECTION
6	CLIENT ADDRESS	PROPOSED BUILDING SECTION
7	CLIENT PHONE	PROPOSED BUILDING SECTION
8	CLIENT FAX	PROPOSED BUILDING SECTION
9	CLIENT EMAIL	PROPOSED BUILDING SECTION
10	CLIENT WEBSITE	PROPOSED BUILDING SECTION
11	PROJECT LOCATION	PROPOSED BUILDING SECTION
12	PROJECT TYPE	PROPOSED BUILDING SECTION
13	PROJECT PHASE	PROPOSED BUILDING SECTION
14	PROJECT STATUS	PROPOSED BUILDING SECTION
15	PROJECT DESCRIPTION	PROPOSED BUILDING SECTION
16	PROJECT NOTES	PROPOSED BUILDING SECTION
17	PROJECT CONTACT	PROPOSED BUILDING SECTION
18	PROJECT CONTACT PHONE	PROPOSED BUILDING SECTION
19	PROJECT CONTACT FAX	PROPOSED BUILDING SECTION
20	PROJECT CONTACT EMAIL	PROPOSED BUILDING SECTION
21	PROJECT CONTACT WEBSITE	PROPOSED BUILDING SECTION
22	PROJECT CONTACT ADDRESS	PROPOSED BUILDING SECTION
23	PROJECT CONTACT CITY	PROPOSED BUILDING SECTION
24	PROJECT CONTACT STATE	PROPOSED BUILDING SECTION
25	PROJECT CONTACT ZIP	PROPOSED BUILDING SECTION
26	PROJECT CONTACT COUNTRY	PROPOSED BUILDING SECTION
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28	PROJECT CONTACT LANGUAGE	PROPOSED BUILDING SECTION
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36	PROJECT CONTACT VIES ID	PROPOSED BUILDING SECTION
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38	PROJECT CONTACT VIES ID	PROPOSED BUILDING SECTION
39	PROJECT CONTACT VIES ID	PROPOSED BUILDING SECTION
40	PROJECT CONTACT VIES ID	PROPOSED BUILDING SECTION

PROPOSED BUILDING SECTION

SCALE: 1/8" = 1'-0"



ASPHALT SHINGLES ON BUILDING PAPER ON 5/8" PLYWOOD ROOF SHEATHING

PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.

UNVENTED ATTIC INSURFAY FOAM

2X6 EXTERIOR STUD WALL WITH R-23 FIBERGLASS BATT INSULATION & 1/2" GYPSUM BOARD

1/2" TAG PLYWOOD SUB-FLOOR GUELD & SCREWED PRE-ENGINEERED FLOOR JOISTS (SEE FRAMING PLAN S-103 FOR SIZE & SPACING)

4" CONCRETE FLOOR SLAB ON VAPOR BARRIER

REINFORCED CONCRETE FROST WALL

REINFORCED CONCRETE FOOTING

2" MIN. INSULATION ON EXTERIOR WALL

1/2" GYPSUM BOARD ON INTERIOR WALL



ARCHITECT'S SEAL:
[Signature]

PROJECT NO. _____
PROJECT NAME _____
PROJECT ADDRESS _____

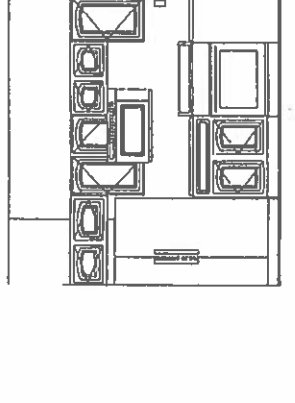
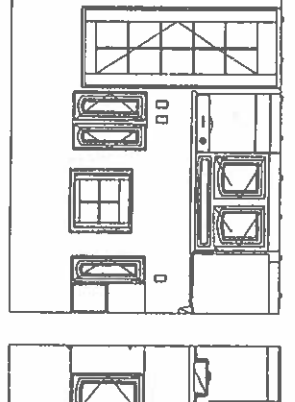
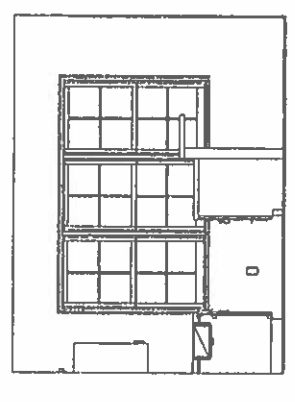
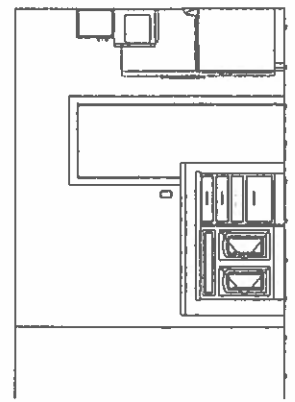
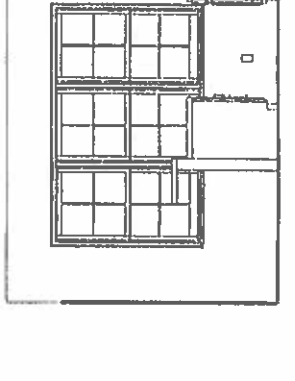
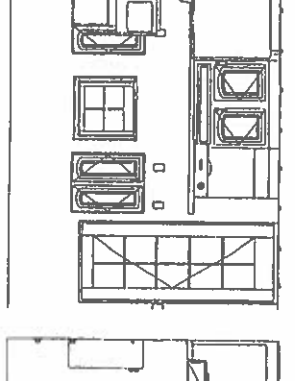
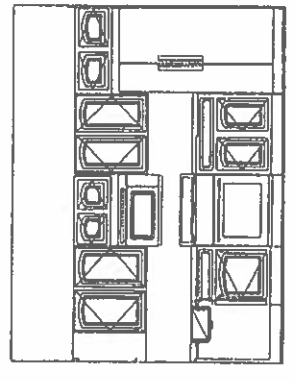
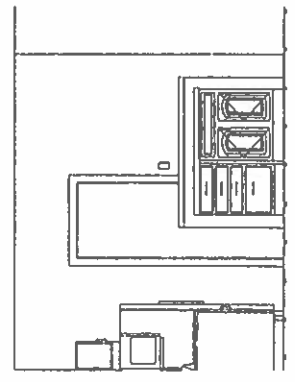
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PROJECT: PROPOSED DUPLEX
DRAWN BY: J. SALO
CHECKED BY: J. SALO
SCALE: AS SHOWN
PROJECT ADDRESS: 7-7A VALAOR STREET
CITY: WORCESTER, MA 01604

PROPOSED KITCHEN INTERIOR ELEVATIONS
PAGE 11 OF 12

DATE: 10/15/2023
SCALE: AS SHOWN
PROJECT: PROPOSED DUPLEX
DRAWN BY: J. SALO
CHECKED BY: J. SALO
SCALE: AS SHOWN
PROJECT ADDRESS: 7-7A VALAOR STREET
CITY: WORCESTER, MA 01604

PROJECT NAME: _____
PROJECT ADDRESS: _____
CITY: _____





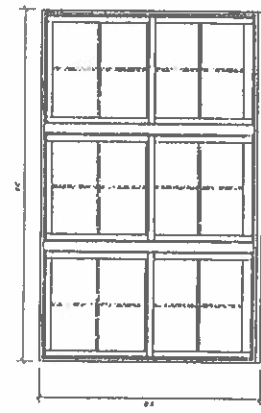
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DATE: 10/15/2023

PROJECT NAME
PROJECT NUMBER

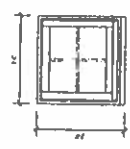
CLIENT NAME
CLIENT ADDRESS

DATE: 10/15/2023
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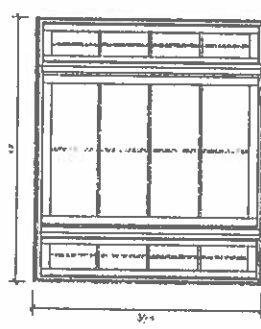
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SCALE: AS SHOWN



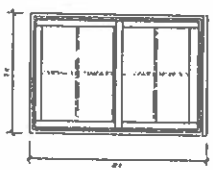
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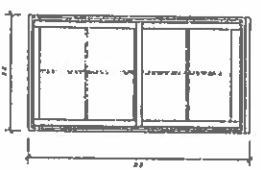
E
WINDOW



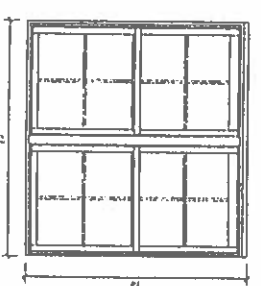
D
WINDOW



C
WINDOW



B
WINDOW



A
WINDOW

PROPOSED WINDOW TYPES
SCALE: AS SHOWN

**PLAN SHOWING PROPOSED DUPLEX
 PREPARED FOR
 JAE WOR, LLC
 LOT 3 SIMONE STREET
 WORCESTER, MASSACHUSETTS
 SEPTEMBER 14, 2022
 SCALE: 1 INCH = 30 FEET**

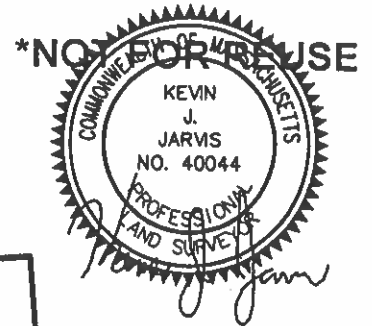
JARVIS LAND SURVEY, INC
 29 GRAFTON CIRCLE
 SHREWSBURY, MA 01545
 TEL. (508) 842-8087
 FAX. (508) 842-0661
 KEVIN@JARVISLANDSURVEY.COM

* THE SURVEYOR RETAINS COPYRIGHT TO THE PLAN OF SURVEY, AND RE-USE OF THIS PLAN IS NOT ALLOWED WITHOUT PERMISSION FROM THE SURVEYOR.

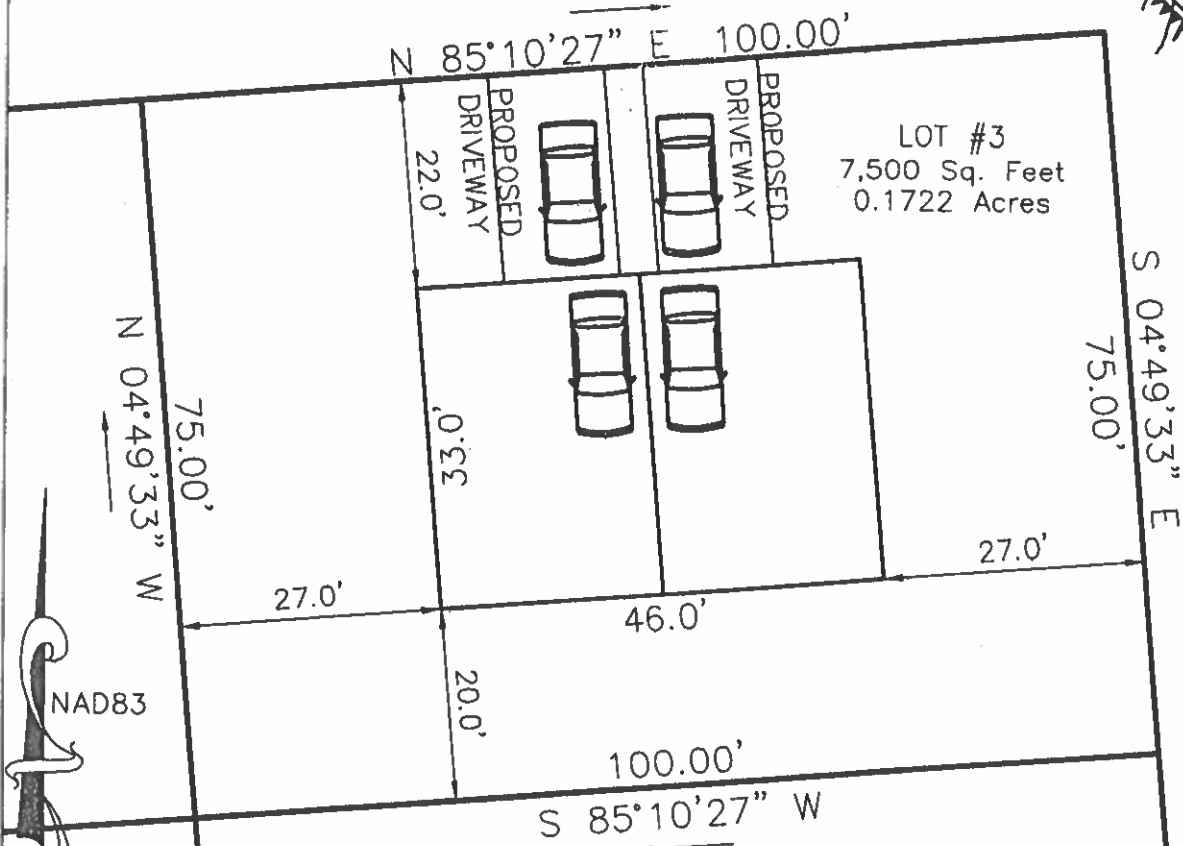
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2. THIS PLAN HAS NOT BEEN PREPARED FOR RECORDING PURPOSES.
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**ASSESSORS MAP 34
 BLOCK 10 LOT 4**

9-14-2022



SIMONE STREET
 (PRIVATE)



VALMOR STREET
 (PUBLIC ~50 WIDE)

ZONING DATA:

Single Family Semi-detached
 RL-7
 LOT AREA = 7,000 S.F.
 LOT FRONTAGE = 65' 70
 FRONT YARD SETBACK = 20'
 SIDE YARD SETBACK = 8'
 REAR YARD SETBACK = 20'

**PLAN SHOWING PROPOSED DUPLEX
PREPARED FOR
JAE WOR, LLC
LOT 4 SIMONE STREET
WORCESTER, MASSACHUSETTS**

**JARVIS LAND SURVEY, INC
29 GRAFTON CIRCLE
SHREWSBURY, MA 01545
TEL. (508) 842-8087
FAX. (508) 842-0661
KEVIN@JARVISLANDSURVEY.COM**

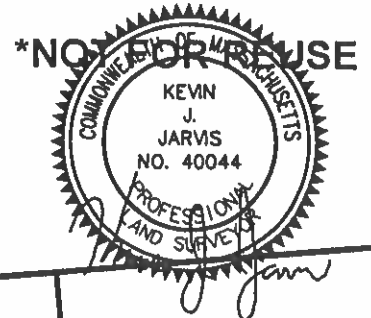
**SEPTEMBER 14, 2022
SCALE: 1 INCH = 30 FEET**

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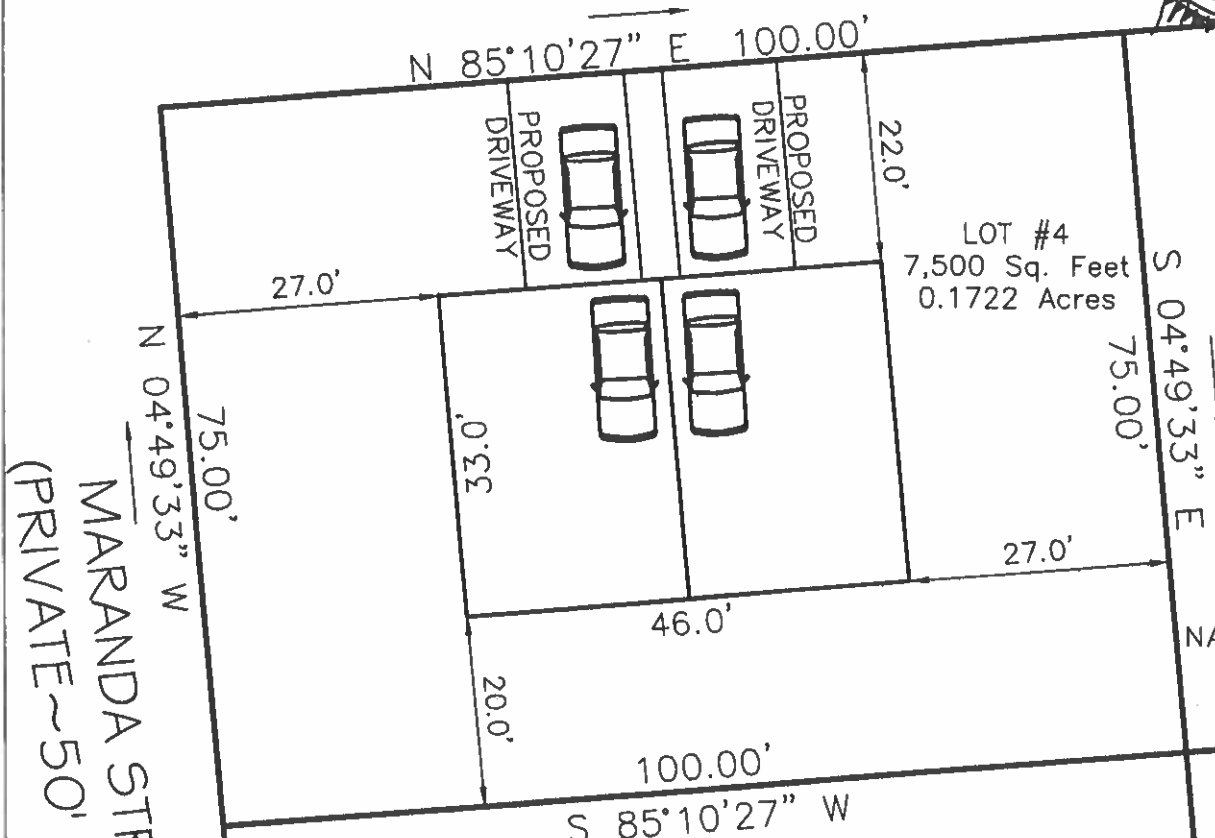
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**ASSESSORS MAP 34
BLOCK 10 LOT 4**

9-14-2022



**SIMONE STREET
(PRIVATE)**



**LOT #4
7,500 Sq. Feet
0.1722 Acres**

ZONING DATA:

**RL-7
LOT AREA = 7,000 S.F.
LOT FRONTAGE = 65'
FRONT YARD SETBACK = 20'
SIDE YARD SETBACK = 8'
REAR YARD SETBACK = 20'**

**PLAN SHOWING PROPOSED DUPLEX
 PREPARED FOR
 JAE WOR, LLC
 LOT 5 SIMONE STREET
 WORCESTER, MASSACHUSETTS
 SEPTEMBER 14, 2022
 SCALE: 1 INCH = 30 FEET**

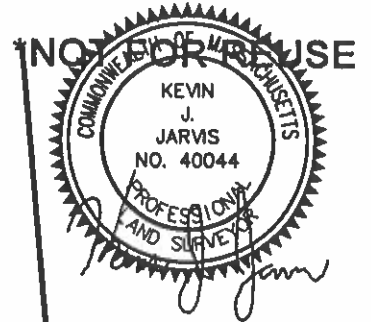
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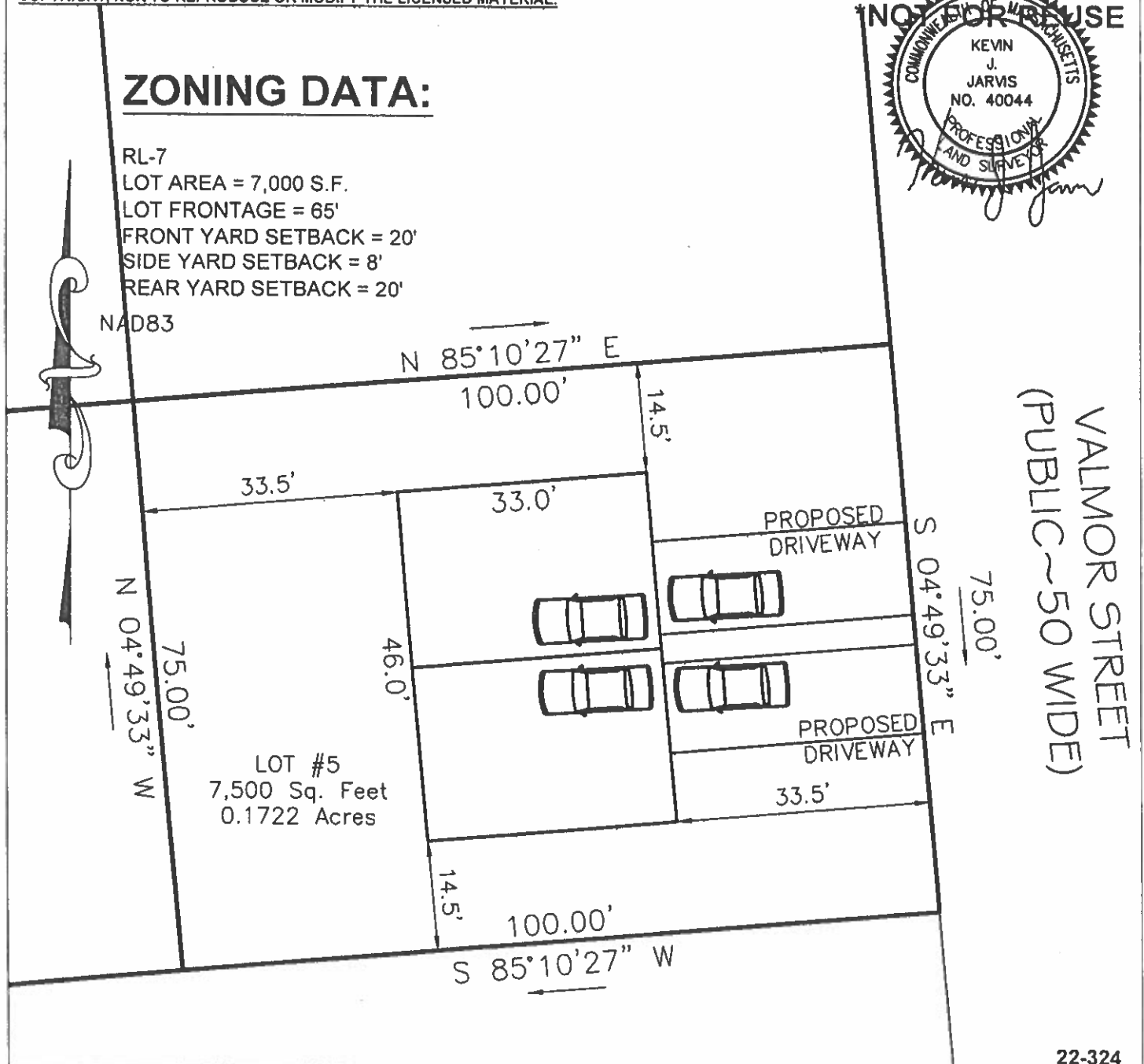
**ASSESSORS MAP 34
 BLOCK 10 LOT 4**

9-14-2022



ZONING DATA:

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 LOT FRONTAGE = 65'
 FRONT YARD SETBACK = 20'
 SIDE YARD SETBACK = 8'
 REAR YARD SETBACK = 20'



**PLAN SHOWING PROPOSED DUPLEX
 PREPARED FOR
 JAE WOR, LLC
 LOT 6 SIMONE STREET
 WORCESTER, MASSACHUSETTS
 SEPTEMBER 14, 2022
 SCALE: 1 INCH = 30 FEET**

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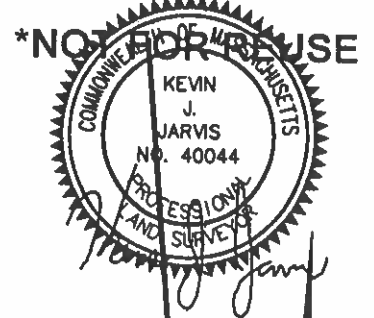
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**ASSESSORS MAP 34
 BLOCK 10 LOT 4**

9-14-2022



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